

**Tentative Agenda
Glenwood City Council Meeting
May 13, 2025
City Hall ~ 7:00 p.m.**

Committee Meetings 6:00 - 7:00 pm

Admin

- [Food Truck](#) Ordinance
- [Golf Cart](#) Ordinance

Finance

-

Public Works

- Pool Questions

Parks & Rec

- User Agreements

Council Meeting - 7:00 p.m.

1. Pledge Allegiance

2. Call to order/roll call

3. Consent agenda - All items listed under the consent agenda will be enacted by one motion. There will be no separate discussion on these items unless a request is made prior to the time Council votes on the motion:

- | | |
|--|---|
| a. Agenda | d. Renewal of Parea LTD Co. Tobacco Retail Permit |
| b. Abstract of Claims #21 | e. Renewal of Russ's Market #30 Tobacco Retail Permit |
| c. Minutes from 04.29.2025 | |

4. Allow visitors to address council

Visitors may address the Council at this time; however, comments will be limited to 3 minutes. As per Iowa's Open Meetings Law, Council can only listen during public comments and cannot take any action on items that are not posted on the agenda. Council may take issues under advisement and if needed refer them to a department head, Mayor's committee, or add them to a future agenda.

5. Life Saving Awards from School Track Event - Matt Gray

6. Committee Reports

- | | |
|-----------------|------------|
| a. Parks & Rec | c. Admin |
| b. Public Works | d. Finance |

7. Eagle Engineering

- a. [Aquatic Center](#) - Motion on Decision to Open.

8. Hiley Park - Michelle Wright, Kiwanis Club

- a. Grant Applications for Hiley Park Project
- b. Possible Motion to approve applications

9. Branden Olsen- Discuss letter received from code enforcement

10. Cheryl Evans- Discuss city property next to 701 S Vine St. & Wall

11. Departmental Reports

- a. Painter – Library
- b. Collins – Cemetery
- c. Mattox – Park
- d. Clark-Public Works
 - i. Motion to approve hiring Ethan Fisher for Street Crewman 1 at the union Rate of \$22.50

- e. Johansen – Police Dept
 - i. Motion to approve [Chapter 89: Security and LPR camera policy](#)
- f. Gray – Fire & Rescue/ Code enforcement
 - i. Discuss Height Requirement for Lawns not to exceed _____ inches for a future resolution.
- g. Kolf – Administration
 - i. Resolution [3713](#) to Approve FY 2025 Transfers
 - ii. Resolution [3711](#) to Approve FY 2026 Transfers
 - iii. [April](#) Financial Reports

12. Resolution [3714](#) Setting Date for a Public Hearing on Designation of the 2025 GRC Redevelopment Urban Renewal Area and on Urban Renewal Plan and Project

13. Resolution [3715](#) Local Option Sales Tax Election Proceedings - Expand the purpose statement to include police, fire and any lawful purpose

- a. The current purpose statement for the city's local option sales tax is for "The Mills County Wellness Center" which encompasses the YMCA and the Pool. The city is proposing to voters to expand the purpose of the sales tax to include police, fire, and any lawful city purpose to allow for more flexibility in supporting essential city services.

14. Resolution [3716](#) Setting Date for a Public Hearing to renew Gas Franchise Ordinance with Black Hills Energy

15. First Reading of [Gas Franchise Ordinance](#) with Black Hills Energy.

16. Community Development Block Grant-Downtown Revitalization Project

- a. Motion to Approve [Pay app 2](#) to Cornerstone Commercial Contractors in the amount of \$80,118.22

17. Possible Motion to go into Closed Session in accordance with Iowa Code 21.5(1)(j) to discuss the purchase or sale of particular real estate only where premature disclosure could be reasonably expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property. The minutes and the audio recording of a session closed under this paragraph shall be available for public examination when the transaction is completed.

18. Motion to Return to Open Session

19. Possible Action Item From Closed Session

20. Mayor's Report

21. Council Member Report

22. Motion to Adjourn

Order of agenda at discretion of Mayor

For hearing assistance contact City Hall seven business days prior to the meeting date.

Virtually: <https://meet.goto.com/CityofGlenwood> Phone: (786) 535-3211 Access Code: 738-827-117

Glenwood City Council Committee Meeting Minutes

5 N. Vine St. Glenwood, Ia 51534

Glenwood City Council met for a meeting on Tuesday, April 29th, 2025 at 6:00pm in Council Chambers. Mayor Angela Winquist called the meeting to order with the following Council Members present: Natalie McEwen, Donnie Kates, Mike Lines and Christina Duran. Laurie Smithers was absent. City employees present: Mitch Kolf, Dannielle Arnold, Fire Chief Matt Gray, Police Chief Eric Johansen, Jamey Clark and Tara Painter. Guests Jordan Weigand with Burbach and Jake Zimmerer.

Public Works Burbach - Pool Report

Burbach Aquatics Inc. confirmed the pool opened in 2017, but has had issues since opening, resulting in closing early or opening late a few summers and not opening at all in 2022 due to broken fittings and water loss. The fittings were resealed and replaced in April 2023. A water feature leak was detected in June of 2024. Over the last few months Burbach Aquatics performed assessments and evaluations along with dye testing.. The dye traveled out of several spots in the deep end and 4 spots in the shallow end. Pipe pressure tested. Several void areas consistent with poor sounding concrete and dye loss. This suggests water leaks eroding the soil. Issues were found with the installation of water stops. Geotechnical analysis of the soil under the pool was conducted and found that the soil used to fill under and around the pool expands and contracts too much when the ground freezes, causing the pool to move a few inches. The findings suggest poor design and construction. Burbach's recommendation is to not use the pool due to water loss and to completely rebuild the pool vessel, replace 5 feet of soil fill under the pool, and install a dewatering system.

Glenwood City Council Minutes

Glenwood City Council met in regular session on Tuesday, April 29th, 2025 at 7:00pm in Council Chambers. Mayor Winquist called the meeting to order and the Pledge of Allegiance was recited. The following Council Members were present: Christina Duran, Mike Lines, Natalie McEwen, and Donnie Kates. Larue Smithers was present via phone. City employees present: Chief Johansen, Captain Worcester, Caleb Severn, Chief Gray, Mitch Kolf, Dannielle Arnold, Tara Painter & Ron Maddox. Guests: Joe Foreman, Trent & Sandra Walker, Jeni Kirsch, Rachel Ring, Jeremy Waymire, Lisa Markesen, Julie Kalambokidis, Amy Haggstrom, Larry Winum, and others.

Motion McEwen/2nd Kates to approve the Consent Agenda as printed: Agenda, Abstract of Claims # 20, Minutes from 04.08.2025, Approve Renewal of Casey's #3770 Tobacco Retail Permit, Approve Renewal of Lincoln Farm and Home LLC Tobacco Retail Permit: Roll Call: Ayes-5 Nays-0 Motion Carried

Johansen – Police Dept

Oath of Office- Caleb Severn - Starts Academy May 5th, 2025.

Recognition of DRE Southwest Region Award Winner Sgt. Jacob Power. Ceremony to be held on June 12th, in FFA Enrichment Center in Ankeny, IA.

Motion McEwen/2nd Duran to Approve Promoting Officer Zak to Police officer 2 effective April 24th, 2025: Roll Call: Ayes-5 Nays-0 Motion Carried

Motion Kates/2nd Smithers to Approve Request to Purchase 6 Red Dot and Holsters from Primary arms instead of Kyle for a difference of 174.86: Roll Call: Ayes-5 Nays-0 Motion Carried

The Police Department was awarded a grant of \$2,500 from the Schildberg foundation. The grant will be used to help offset the cost of the Red Dot sites for their side arms.

The Verkada cameras are able to be used for license plate recognition or security cameras. The demo camera is currently looking out to the intersection of Vine & Sharp Streets. The cameras will hold data for 30 days before it is overwritten. This camera system will only give information if asked for within certain parameters. They will be placed on city property with views of city and public property and will require both power and WiFi to operate.

Visitors Time to Address the Council-

Larry Winum- The Glenwood Redevelopment Corporation took possession of the Glenwood Resource Center (GRC) on April 10th. They will work to decommission all buildings because the power is scheduled to be turned off on June 30th. They are working to get the 10 Glen Haven units and the 103 school building including daycare on permanent power before the shutdown. HDR out of Omaha has been helping in the process and they will continue to do so. They also are requesting to hire a Master Developer to help create a vision for what the future looks like for the facility.

Jeni Kirsch- Suggested weekend or daily licenses for food trucks. She feels that many vendors may not be interested due to the \$300 fees and requested to be on the next agenda.

Committee Reports

Parks & Rec- Rec User Agreements- Met with Ron and decided things overall would stay the same. YMCA baseball and softball are doing the marking of the field. It was discussed that banners need wind slits in them. Weed killer was applied last Friday and Saturday and they will get it seeded. User agreements need to be sent out for review.

Burbach was hired to do an assessment of the pool. A very detailed report was given. They are seeing several problem areas with leaking and drainage being the primary concerns. Council will discuss next steps.

Eagle Engineering-Motion Duran/2nd Lines to Approve Bid for Appraisal Services from Shannon White Appraisal for Arbor Hills CDBG Project: Roll Call: Ayes-5 Nays-0 Motion Carried

This is part of the Hughes sewer project in Arbor Hills. The city is the sponsor. They are requesting a secondary appraisal on 3 properties.

Chestnut Street drainage project has started and should be finished in the next 2-3 weeks. The Street Overlay project is scheduled to commence on May 1st. The Sharp street project is waiting for concrete. They should be ready to start on June 2nd and should be in and out in a week and a half.

Fair Housing Proclamation - The Mayor of Glenwood, Angela Winquist, signed the proclamation. Julie Eden, Heather Dykeski, Trent and Sandra Walker and Lynn Christensen were present to represent the National Association of Fair Housing.

Motion to approve Keg Creek Brewing Company, LLC for a New Class C Retail Alcohol License: Roll Call: Ayes-5 Nays-0 Motion Carried

Departmental Reports

Painter – Library - The library is still having problems with their emails and today is the last day to get it fixed.

Mattox – Park -Motion Lines/2nd McEwen to Approve Special Event Permit Nebraska Interscholastic Cycling League pending insurance: Roll Call: Ayes-5 Nays-0 Motion Carried.

Clark-Public Works

Motion Duran/2nd Kates to Approve the Street Crewman I Job Description: Roll Call: Ayes-5 Nays-0 Motion Carried

Public Works is getting interviews set up for Thursday. There were 5 applicants. A new truck for the Public Works department will be delivered on the 19th of May. They are working with Chief Johansen on speed sign placement.

Gray – Fire & Rescue/ Code Enforcement- 84 calls for service since the last council meeting.

Motion Kates/2nd Lines to approve Volunteer Fire Fighters Kyndra Gray, Jackson Carr, Alex Stanek pending background checks and physicals: Roll Call: Ayes-5 Nays-0 Motion Carried

\$4500 grant received from Schildberg for a video scope and \$1500 donation received from Max Hammer's family for equipment.

Kolf – Administration - Mitch touched on 5 topics. There was discussion about the bridge update, the trail update, GO Bond projects and the DTR update. We will also be working with a new website set to go live next month.

Motion Smithers/2nd Kates to Approve Wage Resolution 3709: Roll Call: Ayes-5 Nays-0 Motion Carried

There was a Public Hearing for Full Budget Adoption For the FY 2026 Budget. Call to Order of Public Hearing at 7:53pm.

Recognition of Publication: Notice of Public Hearing published on March 26th, 2025, in The Opinion-Tribune. City Clerk Report of any Written Statements or Objections Filed at City Hall.-None were filed. Mayor Chair Call for Objections, Statements, and/or Exhibits for council consideration. There was an objection, statement and/or Exhibits for Council Consideration. Lisa Markesen addressed the Council stating she felt it was a shame they were going forward with the budget. Adjournment of Public Hearing was at 7:55pm.

Resolution 3710 to Adopt the FY 2026 Budget was presented by the City Administrator. Mitch stated the city invested in employees and public safety. Revenues were less than expenditures in the general fund but cuts were made to every department to balance the budget in the General Fund. The city's overall property tax rate is the lowest for comparable cities in SW Iowa.

Motion Kates/2nd Lines to approve Resolution 3710 to Adopt FY 2026 Budget: Roll Call: Ayes-5 Nays-0 Motion Carried

Public Hearing for FY 2025 Budget Amendment 3 call to Order of Public Hearing at 8:08pm. Recognition of Publication: Notice of Public Hearing published on March 26th, 2025, in The Opinion-Tribune. City Clerk Report of any Written Statements or Objections Filed at City Hall.-None were filed. Mayor Chair Call for Objections, Statements, and/or Exhibits for council consideration. There were no objections, Statements, and/or Exhibits for Council Consideration. Adjournment of Public Hearing was at 8:08pm.

Motion McEwen/2nd Kates to Adopt Resolution 3712 to Adopt FY 2025 Budget Amendment 3: Roll Call: Ayes-5 Nays-0 Motion Carried

Community Development Block Grant - Downtown Revitalization

Motion Duran/2nd Smithers to approve SWIPCO Invoice 1455-19 in the amount of \$2,121.00 for 2/25-3/25 Admin Fees

Motion McEwen/2nd Kates to approve Change Order #01, #02, #03 & #06

Mayors Report- Filled out grant for \$4,300 for bottle filling with Delta Dental that was approved, will get with Ron at Parks & Rec to discuss

Motion Duran/2nd McEwen to Adjourn at 8:13pm.

Attest:

Angela Winquist, Mayor

Dannielle Arnold, City Clerk

CHAPTER 78

GOLF CARTS

78.01 Purpose

78.02 Operations of Golf Carts Permitted

78.03 Prohibited Streets and Other Restricted Areas
of Operation

78.04 Operation

78.05 Motor Vehicle Law

78.06 Golf Cart Insurance

78.07 Violation and Penalty

78.01 PURPOSE. The purpose of this Chapter is to permit the operation of golf carts on certain streets in the City of Glenwood, Iowa, as authorized by Section 321.247, Code of Iowa, as amended. This Chapter shall be applicable whenever a golf cart is operated on any street or alley, within the City as provided in this Chapter.

78.02 OPERATION OF GOLF CARTS PERMITTED. Golf carts may be operated upon the streets of Glenwood, Iowa, by persons possessing a valid Iowa operators license and at least eighteen (18) years of age, except as otherwise prohibited by this Chapter or the Code of Iowa.

78.03 PROHIBITED STREETS AND OTHER RESTRICTED AREAS OF OPERATION. Golf carts shall not be operated upon the City street which is a primary road extension through the City. Primary road extensions are those streets that are also a State Highway. Golf carts are also prohibited from traveling on the following streets within the City of Glenwood:

1. Sharp Street
2. Locust Street

78.04 OPERATION.

1. Traffic Code. Any person operating a golf cart, including those for which a City of Glenwood permit has been issued, shall adhere to all traffic signs and signals, and all other traffic rules and regulations and shall obey the orders and direction of any law enforcement officer authorized to direct or regulate traffic or the direction of a fire department officer during a fire.
2. Speed. No golf cart shall be operated at a speed in excess of the lesser of 25 miles per hour or a posted speed limit, nor shall any golf cart be operated at a speed greater than is reasonable and proper for the existing conditions.

3. Trails. Golf carts shall not be operated on any recreational, bike or walking trails, unless the trail is specifically designed to allow use of motor vehicles.
4. Sidewalks. Golf carts shall not be operated upon sidewalks.
5. Parking. Golf carts shall not be operated upon that portion of a street right-of-way between the curb or edge of street paving and the sidewalk, referred to as “the parking.”
6. Direct Crossing. Golf carts may make a direct crossing of a prohibited street provided:
 - A. The crossing is made at an angle of approximately ninety degrees (90°) to the direction of the street and at a place where no obstruction prevents a quick and safe crossing;
 - B. The golf cart is brought to a complete stop before crossing the street;
 - C. The driver/operator yields the right-of-way to all oncoming traffic which constitutes an immediate hazard.
7. Parks. Golf carts shall not be operated within City parks and other land owned by the City, unless for a special event authorized by the City Council and the operator possesses a valid permit issued by the City of Glenwood.
8. Equipment. Golf carts operated upon streets within the City of Glenwood shall be equipped with at least the following:
 - A. Slow moving vehicle sign;
 - B. A bicycle safety flag, the top of which shall be a minimum of 5 feet from ground level;
 - C. Adequate brakes;
 - D. Headlights;
 - E. Taillights;
 - F. Brake lights.
9. Hours of Operation. Golf carts may be operated on City streets only from sunrise to sunset. However, a person operating a golf cart shall pull over to the side of the public street or alley and come to a complete stop at all such times a Glenwood Community School District school bus is operating within three hundred (300) feet of the golf cart, and shall remain stopped until the bus is beyond the 300 foot radius of the golf cart.

(Ord. 873 – Apr. 17 Supp.)

10. Riding on Golf Carts. A person operating a golf cart shall not ride other than on a permanent seat which is designed to be a part of the golf cart and permanently attached thereto. No person operating a golf cart upon a public street or alley shall allow a passenger in the golf cart who has not yet obtained the age of eight (8) years, except during specifically designated events in include Glenwood's annual Homecoming, Keg Creek Days, and Scarecrow Days celebrations. All passengers under the age of twelve (12) years shall wear and utilize an operable seat belt when the golf cart is in motion. No golf cart shall be used to carry more persons at one time than the number for which it is designed and equipped. *(Ord. 873 – Apr. 17 Supp.)*

11. Permits. No person shall operate a golf cart on any public street or alley for any purpose unless the operator possesses a City of Glenwood permit to operate a golf cart on the City streets, issued by the Glenwood Police Chief or authorized designee.

A. Golf cart owners may apply for a permit from the Glenwood Police Chief on forms provided by the City;

B. The Police Chief shall not issue a permit until the owner/operator has provided the following:

(1) Evidence that the operator is at least eighteen (18) years of age and possesses a valid driver's license.

(2) Proof that the owner/operator has liability insurance covering operation of golf carts on City streets;

C. The applicant for a permit to operate a golf cart on the City streets, as a part of the application, shall verify the golf cart complies with State law and the provisions of this chapter;

D. The operator of a golf cart shall prominently display the Glenwood permit on a rear fender or similar component of the golf cart;

E. All permits issued shall uniquely identify the name and address of the owner/operator of the golf cart;

F. The fee for a permit to operate a golf cart on the City streets and alleys shall be \$25.00 annually.

78.05 MOTOR VEHICLE LAW. Persons authorized to operate golf carts pursuant to this chapter shall obey all statutes and ordinances governing the operation of motor vehicles to the extent practically applicable.

78.06 GOLF CART INSURANCE. Financial responsibility required. The owner/operator of every golf cart being operated upon the streets and alleys of

the City of Glenwood, Iowa, shall have in effect liability insurance covering operation of the golf cart in the same limits, as required of automobiles by the financial responsibility provision of Section 321A, Code of Iowa.

78.07 VIOLATION AND PENALTY.

1. Any person guilty of violating the provisions herein shall be guilty of a misdemeanor and shall be subject to a fine of one hundred dollars (\$100.00) and revocation of the City of Glenwood permit for a period of two (2) months.
2. Any person guilty of violating this Ordinance two (2) times in a twelve (12) month period shall be subject to a fine of two hundred dollars (\$200.00) and revocation of the City of Glenwood permit for a period of two (2) years.
3. Any person guilty of violating this Ordinance three (3) times shall be subject to a fine of three hundred dollars (\$300.00) and permanent revocation of the City Glenwood permit.

(Ch. 78 – Ord. 865 – Feb. 16 Supp.)

[The next page is 381]

ORDINANCE NO. 920

AN ORDINANCE AMENDING THE CITY CODE OF ORDINANCES OF THE CITY OF GLENWOOD, IOWA, BY AMENDING CHAPTER 122 REGARDING "PEDDLERS, SOLICITORS, AND TRANSIENT MERCHANTS"

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GLENWOOD, IOWA:

Section 1. The Glenwood City Code is hereby amended by amending Sections 04 and 05 of Chapter 122 to read in full as follows:

122.04. APPLICATION FOR LICENSING:

A. Filing: Application requests shall be filed with city hall. No application request shall be accepted for filing and processing unless it conforms to the requirements of this chapter. This would include a complete and true application, all of the required materials and information prescribed, and is accompanied by the required fees.

B. Timely Submittal: Unless otherwise provided herein, applications must be submitted not less than seven (7) calendar days prior to the proposed start date of any peddling, solicitation or transient merchant sales or related activities. The city reserves the right to reject any applications that have not been timely submitted to the city.

C. Application Contents: Application shall be made on a form provided by the city and shall include:

1. Full name of the applicant.
2. Applicant's contact information including mailing address, phone numbers and e-mail address.
3. Applicant's employer, if any, and the employer's address, the nature of the business.
4. Make, model, and year of vehicle to be used and the license plate number.
5. The length of time sought to be covered by the license.
6. Certificate of liability insurance or surety bond through the Iowa Secretary of State.

D. Right to Appeal: Any applicant whose application for license was disapproved may appeal to the City Council at its next regularly scheduled

meeting by filing with the city clerk or the city clerk's designee a written request for an appeal to the City Council at least seven (7) days prior to the meeting. As a result of this appeal, the City Council may affirm, modify or reverse the decision of the clerk not to issue the license. If the application for license is denied, the applicant is not eligible for the issuance of a license under this chapter for a period of one year from the date of notification that the license application was disapproved, was served in person or deposited in U.S. mail.

E. Applications Deemed Withdrawn: Any application received shall be deemed withdrawn if it has been held in abeyance, awaiting the submittal of additional requested information from the applicant, and if the applicant has not communicated in writing with the city and made reasonable progress within thirty (30) days from the last notification from the city to the applicant. The application fee is nonrefundable. Any application deemed withdrawn shall require submission of a new application and fees to begin a new review and approval process.

F. Issuance of License: Upon completion of the review process and a determination of compliance with the applicable regulations and all applicable application and license fees have been paid, the city clerk or the city clerk's designee will issue the appropriate license.

122.05. LICENSE & APPLICATION FEES:

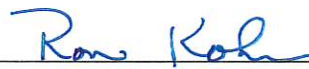
At the time of submission of a license application, the applicant shall pay to the city the applicable application and license fees. The fee schedule will be set by resolution and may be modified from time to time with approval by resolution of the City Council.

Section 2. Sections 06, 07, 15, and 17 of Chapter 122 are hereby repealed and deleted.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 4. This ordinance shall be in full force and effect after passage, approval and publication as provided by law.

PASSED AND ADOPTED at Glenwood, Iowa, this 12th day of July, 2022.



Ron Kohn, Mayor

ATTEST:



City Clerk

GLENWOOD, IOWA

AQUATIC CENTER WATER LOSS INVESTIGATION PRESENTATION

APRIL 29, 2025



BACKGROUND

1. Pool first opened in 2017;
2. Closed in 2022 due to broken fittings and water loss;
3. Noticeable slab settlement in mechanical area ;
4. Deep end pool joints resealed and broken fittings replaced - April 2023;
5. Additional leaks discovered and repaired – May 2023;
6. Water feature outlet pipe leak discovered – June 2023;
7. 20,000 gallon/day (3.5") water loss reported – Start of 2024



INVESTIGATION OBJECTIVES

Step 1 - Locate sources of water loss

Step 2 - Develop a comprehensive repair plan

EVALUATION/ASSESSMENT APPROACH

1. Eagle Engineering Group
 - a. City Engineer for Glenwood
 - i. Elevation measurements
2. Burbach Aquatics, Inc. (BAI)
 - a. Architect and Engineer
 - i. Vessel and System Assessment
3. Ricchio Construction, Inc.
 - a. Mechanical Contractor
 - i. Dye Testing
 - ii. Pipe Pressure Testing
 - iii. Concrete Extraction
4. Albertson Engineering (AE)
 - a. Structural Engineer
 - i. Ground Penetrating Radar Investigation
 - ii. Structural design review
5. Chosen Valley Testing (CVT)
 - a. Geotechnical Engineer
 - i. Soil boring and testing

DYE TESTING (RICCHIO/BAI)

9-3-24

PROCEDURE

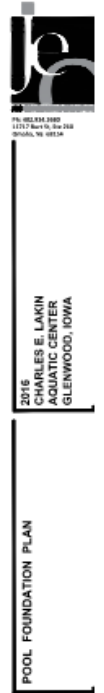
- Pool full
- Turned off pumps
- Extracted joint filler (Caulk)
- Prepped syringes with fluorescent dye
- Inject dye near exposed joint
- Record dye travel



Video: Location 5-1 Showing High Dye/Water Loss

9-3-24

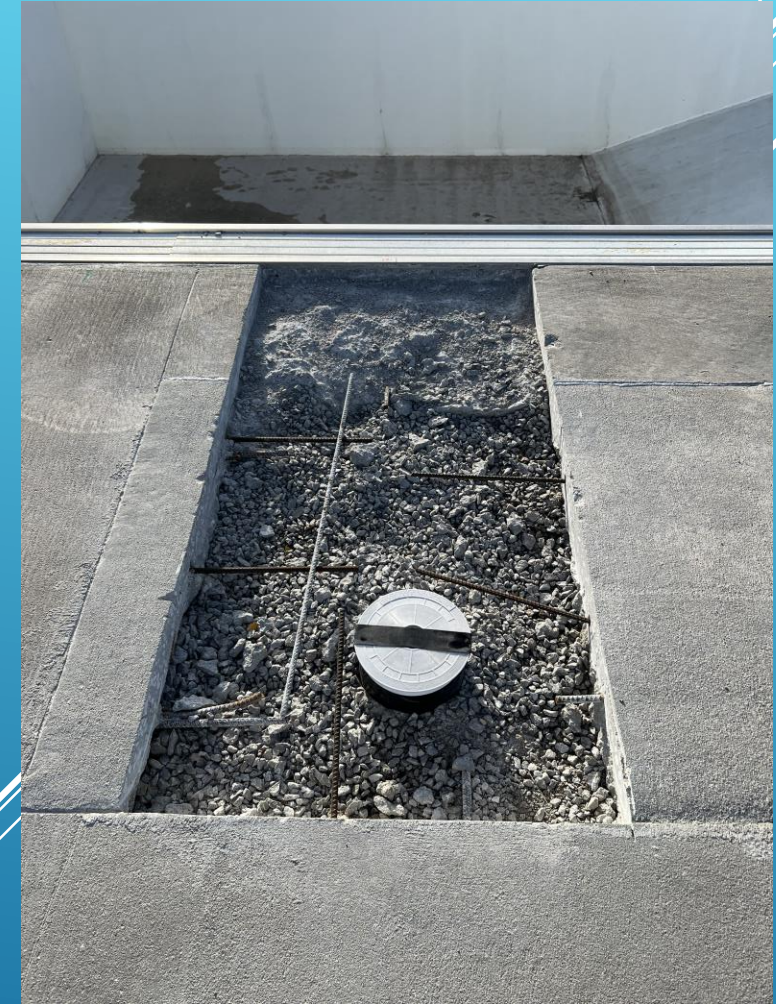
- Dye escaped at most test locations in depths of 5 feet or greater.
- Four additional locations noted in shallow areas



PIPE PRESSURE TESTING (RICCHIO) 10-5-24

PROCEDURE

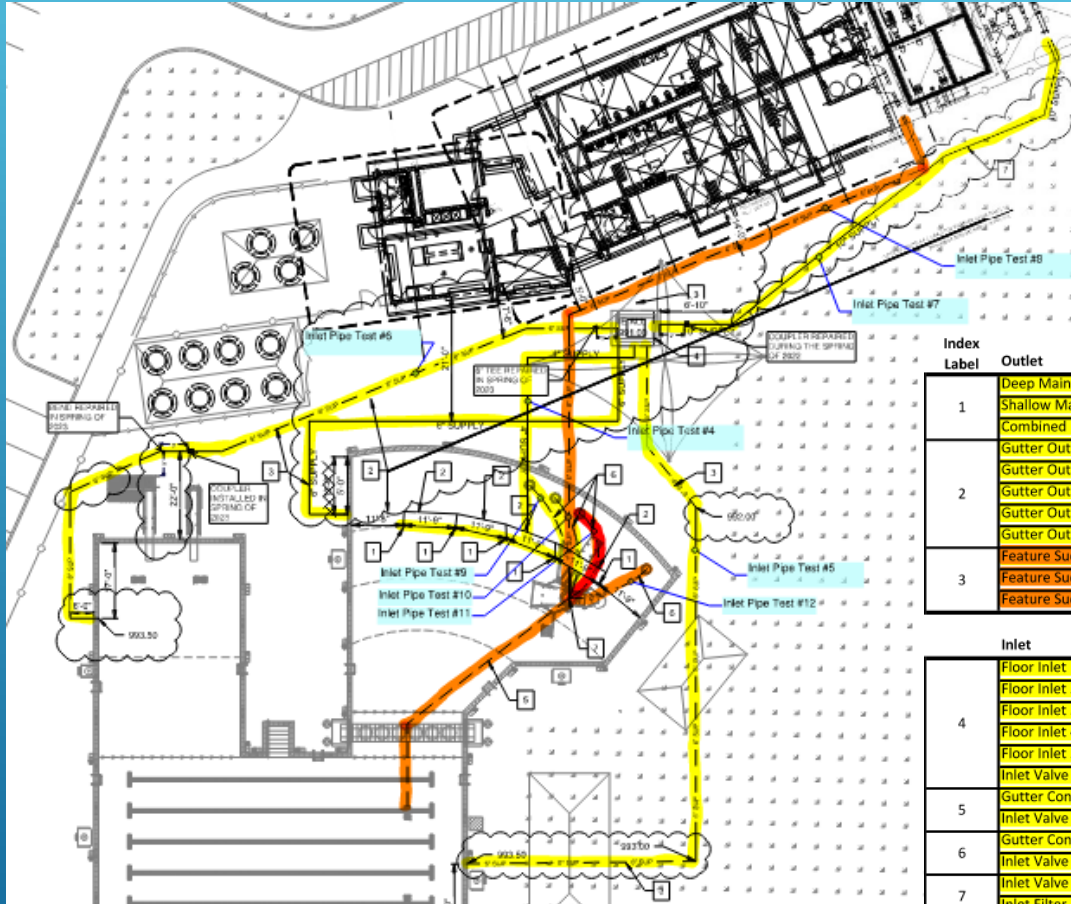
- Empty pool
- Plug and pressure test pipes
 - Drain outlets
 - Water features
 - Floor inlets
 - Wall inlet water supply (Removed deck, installed test port)
- Static water test pool gutter system
- Index and document



Deck removal and new test port
(1/3)

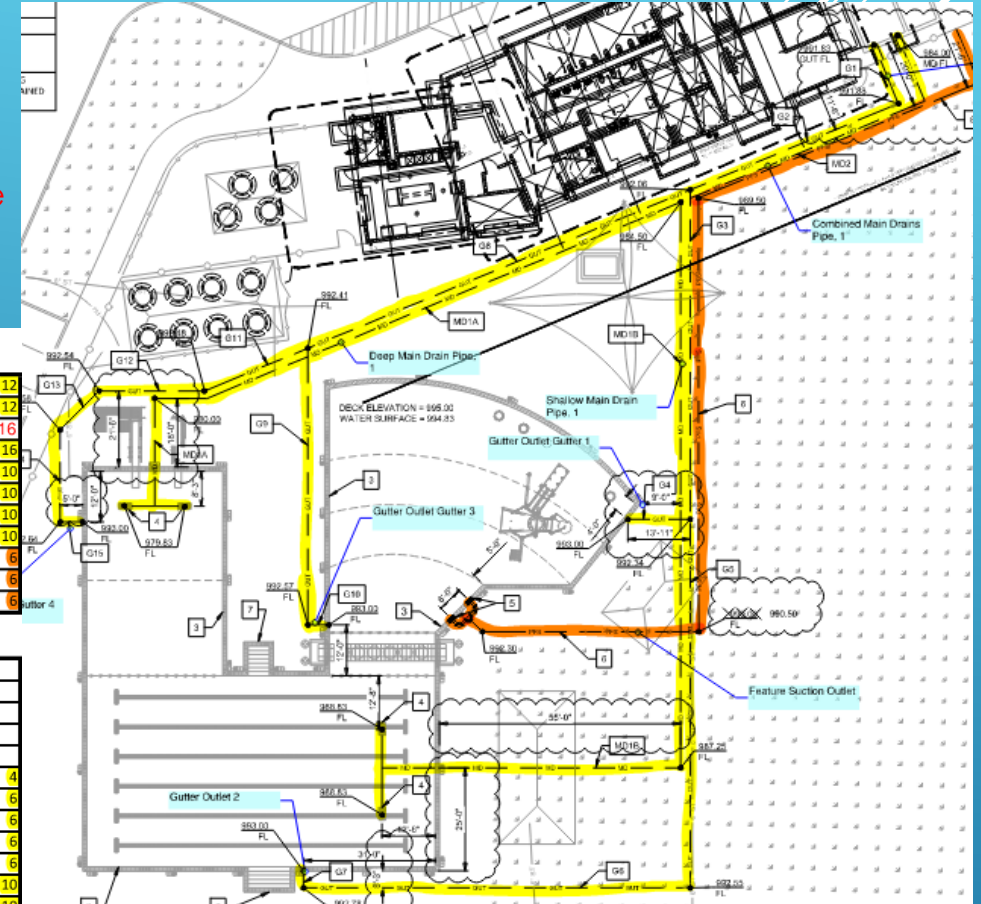
PIPE PRESSURE TESTING (RICCHIO) 10-5-24

FINDINGS



Supply piping

Yellow - Pass
Orange - Leak
Red - No Pressure



Return piping

Index Label	Outlet	Test Port Dia
1	Deep Main Drain Pipe	12
	Shallow Main Drain Pipe	12
	Combined Main Drains Pipe	TBD
	Gutter Outlet Surge Tank 1	16
2	Gutter Outlet Gutter 1	10
	Gutter Outlet Gutter 2	10
	Gutter Outlet Gutter 3	10
	Gutter Outlet Gutter 4	10
3	Feature Suction Pipe Pump Connection	6
	Feature Suction Pipe Wall Connection 1	6
	Feature Suction Pipe Wall Connection 2	6

Index Label	Inlet	Test Port Dia
4	Floor Inlet 1	TBD
	Floor Inlet 2	TBD
	Floor Inlet 3	TBD
	Floor Inlet 4	TBD
	Floor Inlet 5	TBD
5	Inlet Valve vault	4
	Gutter Conductor Lap Pool East	6
6	Inlet Valve Vault	6
	Gutter Conductor Deep Area West	6
7	Inlet Valve Vault	10
	Inlet Filter Bank, Valve 8B	10
8	Water Feature Valve	4
	Water Feature Pump Discharge Valve #X	6
9	ZD Bubbler 1	2
	Water Feature Valve	4
10	ZD Bubbler 2	2
	Water Feature Valve	4
11	ZD Bubbler 3	2
	Water Feature Valve	4
12	ZD Bubbler 4	2
	Water Feature Valve	4

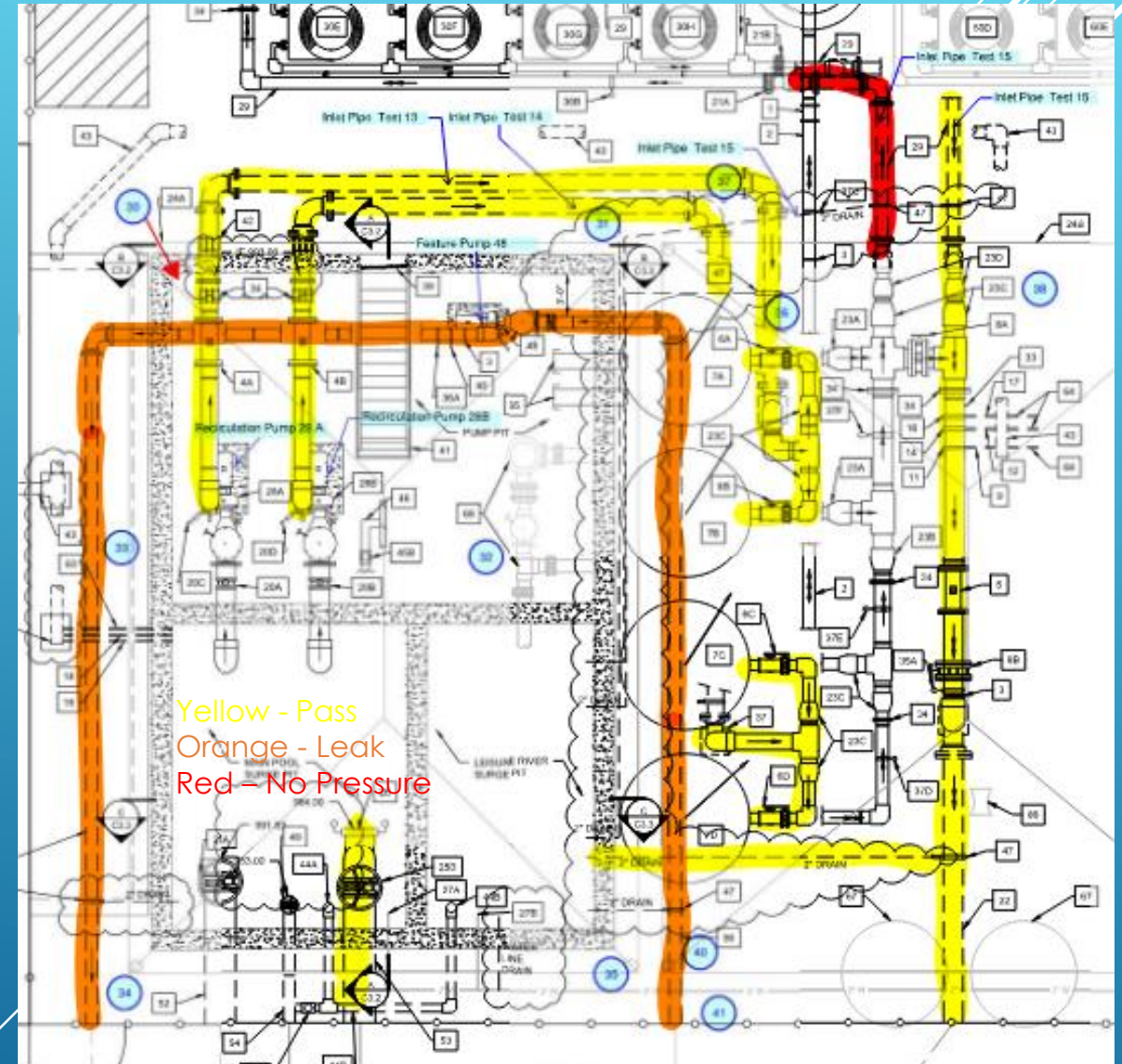
Pipe Index

PIPE PRESSURE TESTING (RICCHIO) 10-5-24

FINDINGS

- Failed Pipes
 - Heater supply side stream
 - Zero depth bubbler #3
- Leaking Pipes
 - Water feature supply and outlet piping

13	Recirculation Pump 28A valve		8
	Filter valve 6A		6
	Filter valve 6B		6
14	Recirculation Pump 28B valve		8
	Filter valve 6C		6
	Filter valve 6D		6
15	Heat pump side stream supply valve 21A		4
	Field verify test termination location	TBD	
	Heat pump side stream return valve 21 B		4
	Field verify test termination location	TBD	
	Winterization pipe valve #TBD		2



Pool mechanical space piping

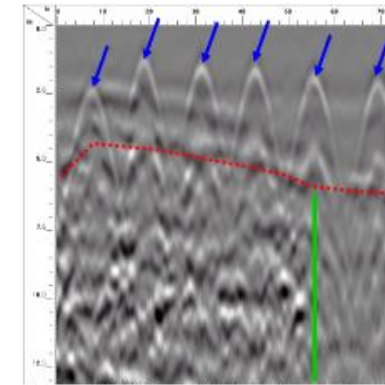
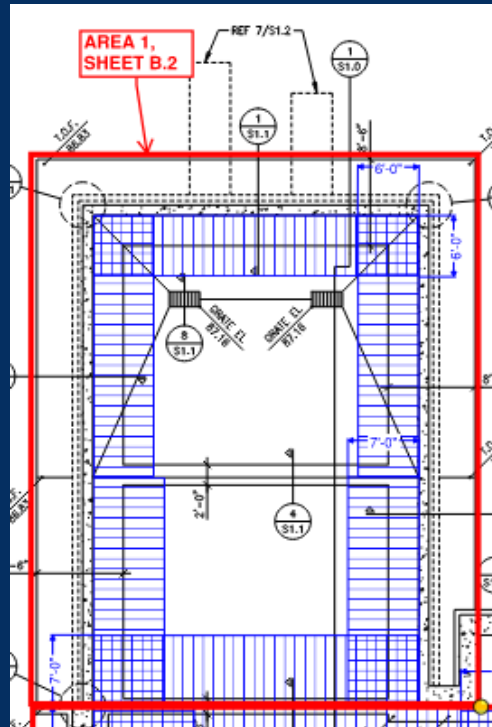
GROUND PENETRATING RADAR SCANNING (AEI) 11-19-24

PROCEDURE

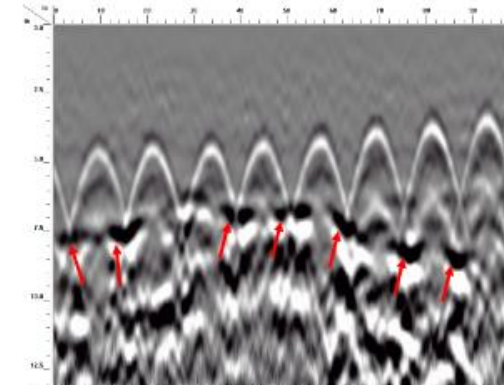
- GSSI scanner device used in field
- Scan 6 – 7 foot lengths at 2 foot intervals
- Focused area around joints
- Interpreted scans and located apparent voids



Photograph 8: AEI's in-house GSSI Mini XT scanner used during the field review.



Photograph 10: GPR scan with the approximate slab bottom shown as a dashed red line. The blue arrows denote rebar present within the concrete slab. The green line denotes the apparent boundary between the subgrade and the footing.



Photograph 11: GPR scan with apparent void areas (red arrows) present below the cast-in-place slab.

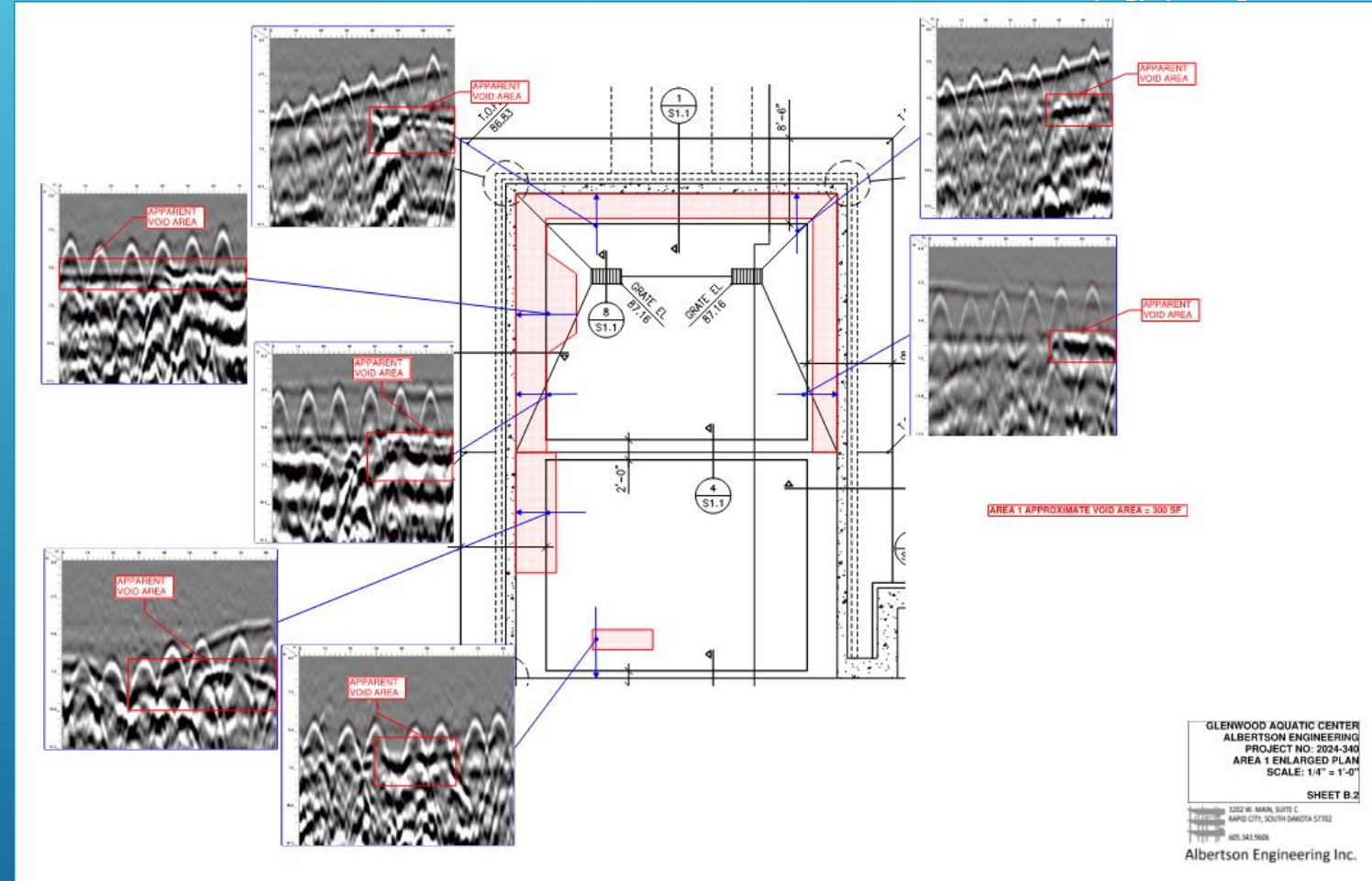


GROUND PENETRATING RADAR SCANNING (AEI)

11-19-24

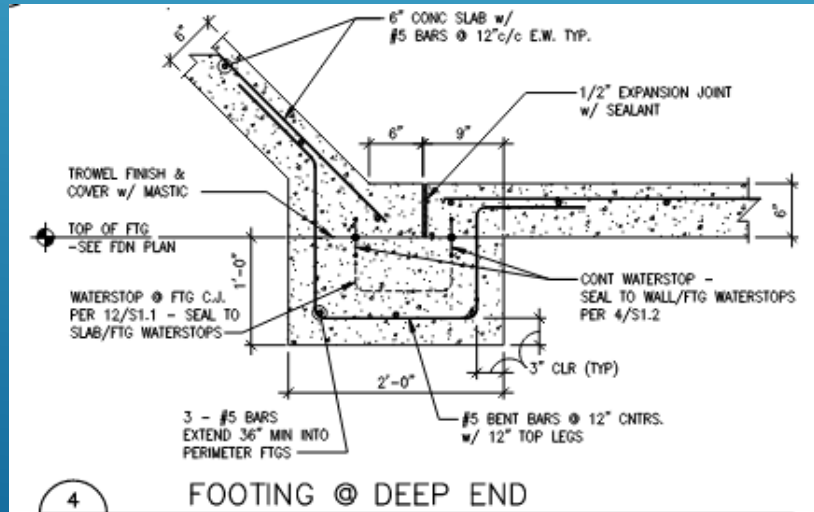
Findings

- Several multiple apparent void areas
- Apparent void areas consistent with poor sounding concrete and dye loss locations
- Suggests water leaks are eroding the sub grade below the pool floor next to footings
- See Albertson's Report for complete assessment

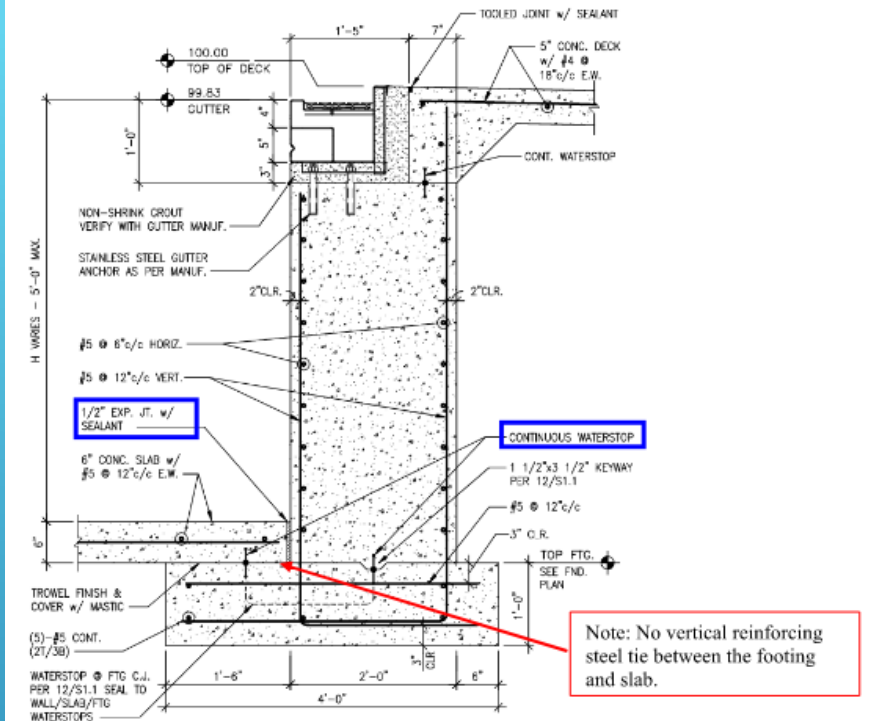


STRUCTURAL REVIEW

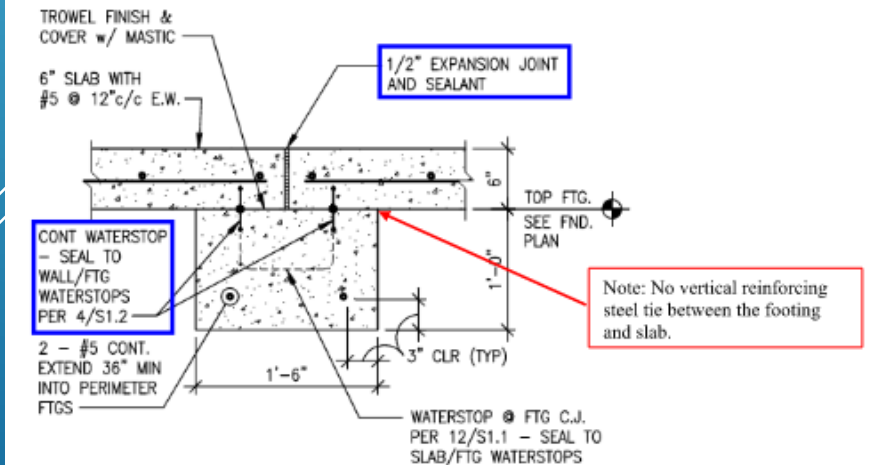
- Light duty 6" floor slab
- Single #5 rebar @ 12" c/c E.W., 1 ¼" at intersection
- Rebar clearance – 1 ½" to surface, 3" to grade
- 4" PVC waterstop
- Floor slab vertical reinforcement only at end of transition slope joint



Only Footing W/ Vertical Reinforcement



Photograph 3: Detail 2/S1.1 taken from the construction documents. This shows the typical floor slab to perimeter wall detail with the expansion joint sealant and waterstops labeled for clarity.



Photograph 2: Detail 5/S1.1 taken from the construction documents. This shows the typical floor slab expansion joint detail with the expansion joint sealant and waterstops labeled for clarity.

STRUCTURAL REVIEW



Construction photos sourced from Glenwood Aquatic Center Facebook page

CONCRETE EXTRACTIONS (RICCHIO) 3-7-25

PROCEDURE

- Cut and extract two 3'x3' floor sections
- Expose and maintain waterstop condition for observation
- Observe sub floor condition
- Observe rebar, concrete design and placement



Deep End Opening



Floor Joint Opening

CONCRETE EXTRACTIONS (RICCHIO) 3-7-25

FINDINGS

- Floor thickness ranges from 4-6 inches (6" design thickness)
- Waterstop is intact but not consolidated
- Confirmed no vertical reinforcement
- Rebar is in contact with waterstop creating poor concrete consolidation at each rebar location



GEOTECHNICAL (CVT)

3-26-25

PROCEDURE

- Single test boring at the center of the vessel to depth of 26 feet
- Soils testing

FINDINGS

- Lean clay fill directly below pool slab to 4 foot depth. Lean clay loess at 4 – 22 feet. Both are considered highly frost susceptible
- Glacial till 22 feet to end of boring
- Ground water located at 12 feet below top of boring

LOG OF BORING

CHOSEN VALLEY TESTING



PROJECT: 25029.25.IAM Design Phase Geotechnical Evaluation Proposed Aquatic Center 23936 Hershey Avenue Glenwood, Iowa				BORING: B-02 LOCATION: See attached sketch		
				DATE: 3/26/2025	SCALE: 1" = 3'	
Elev.	Depth	USCS Symbol	Description of Materials (ASTM D 2487/2488)	BPF	WL	Tests and Notes
0.0	0.0					
-0.3	0.3	CL	4" CONCRETE LEAN CLAY brown to grey, wet, very stiff. (Fill)			
				22		PP = 3.0 tsf, MC = 23.1% P200 = 99.0%
-4.0	4.0	CL	LEAN CLAY trace of iron staining, dark brown, wet, very soft to medium. (Loess)			
				6		PP = 2.0 tsf, MC = 30.2%
					▽	
				1		PP = 1.0 tsf, MC = 28.9% LL-PL-P1 = 42-20-22
				3		PP = 0.75 tsf, MC = 27.7% P200 = 99.4%
				4		PP = 1.25 tsf, MC = 28.0%
-22.0	22.0	CL	SANDY LEAN CLAY trace of silty sand, trace of iron staining, light grey, wet, medium. (Glacial Till)			
				6		PP = 2.0 tsf, MC = 21.6% P200 = 91.6%
-26.0	26.0		End of boring. Boring sealed upon completion.			

25029.25.IAM

B-02 page 1 of 1

11-20-24 – 4-10-25



SUMMARY

The Aquatic Center has been constantly dealing with issues of water loss through its years of operation and water loss rate has increased each season of operation.

The forces on the pool floor resulting from frozen sub grade has caused the floor to rise as much as two inches per winter.

The adverse floor movement and inadequate waterproofing and structural connection between the floor and concrete footings allows water to leak at high rates.

Water leakage at the floor joints is apparently eroding base material creating voids under the pool floor.

Pool structure movement has caused pipe breaks and leaks.

RECOMENDATIONS

Continued use of the pool in its current condition will have high operation costs and increased deterioration of the pool vessel and pipe network integrity.

The geotechnical evaluation recommendation to remedy the pool vessel structural support requires removal of up to 5 feet of existing soil and under the pool. The soil should be replaced with non frost sensitive soil.

Additionally given the presence of ground water an active dewatering system should be installed. A full envelope of free draining base and wall backfill is required for an effective dewatering system.

These remedies along with an improved pool vessel structural design requires a full pool vessel replacement solution.

- QUESTION & COMMENTS

THANK YOU

**GLENWOOD POLICE DEPARTMENT'S
STANDARD OPERATING PROCEDURE**

Chapter 89: Security and LPR camera policy
Issue Date: April 29th, 2025
Review Date:
Revision Date:
Authorized by: Chief Eric Johansen

SECURITY AND LPR CAMERA RECORDING SYSTEMS

PURPOSE

The purpose of this policy is to set forth guidelines of usage for security camera and LPR recording devices. The primary purpose of this system is to monitor, capture and preserve activity in and around City Owned property to aid with investigations and use in judicial proceedings, training and other Police Department or law enforcement related purposes.

A. AUDIO/VIDEO AND LPR RECORDING SYSTEM OPERATION

1. The audio/video recording system is designed to continuously record over-writing data after 30days.
2. Every Officer should receive training in the operation of the audio/video recording system prior to operation of the system.
3. The operation of the system will be in accordance with the manufacturer's instructions and the Police Department's policy.
4. Employees of the Police Department shall not edit, alter, erase, duplicate, copy, share, or otherwise distribute in any manner recordings without the prior approval of the Police Chief or designee.
5. All audio/video recordings made while working in the capacity as a Police Officer are the property of the Glenwood Police Department and subject to review and use by the Glenwood Police Department at any time.

B. AUDIO/VIDEO SYSTEM ALERTS ACTIVATION AND DEACTIVATION

**GLENWOOD POLICE DEPARTMENT'S
STANDARD OPERATING PROCEDURE**

Chapter 89: Security and LPR camera policy

Issue Date: April 29th, 2025

Review Date:

Revision Date:

Authorized by: Chief Eric Johansen

1. The audio/video LPR system has the capabilities of alerting when it detects a specific license plate. Some examples or reasons to utilize this feature are but not limited to:
 - A. suicidal subject
 - B. wanted person
 - C. habitual barred driver

Once this feature has been activated, it shall remain on until the incident requiring activation has concluded. For the purpose of this section, the conclusion of an incident occurs when:

- a. All wanted people or persons of interest have been located.
- b. All law enforcement actions have been concluded.

C. DOWNLOADING AND CLASSIFICATION OF RECORDINGS

1. All audio/video recordings should be accurately classified upon exporting of the recording. All recordings should include the case number when available under the standard format (e.g. 16-002345).
2. All recordings will be downloaded by the Officer and retained by the Department in its corresponding file.

D. REVIEW OF RECORDINGS

1. Audio/video recordings may be reviewed as follows:
 - a. By an Officer to ensure the audio/video equipment is working properly.
 - b. By an Officer to assist in investigations and the completion of report(s).
 - c. By command staff (Sgt., Captain, Chief) for the purpose of reviewing evidence.
 - d. By command staff (Sgt., Captain, Chief) conducting an administrative review or investigation, including but not limited to criminal, administrative or personnel matters.

**GLENWOOD POLICE DEPARTMENT'S
STANDARD OPERATING PROCEDURE**

Chapter 89: Security and LPR camera policy

Issue Date: April 29th, 2025

Review Date:

Revision Date:

Authorized by: Chief Eric Johansen

2. In no event shall any recording be used for simple misdemeanor traffic enforcement.
3. Audio/video system recordings shall not be shared with the public without the prior approval of the Chief of Police or designee.
4. Audio/video system recordings shall not be distributed outside of the Police Department without the prior approval of the Chief of Police or designee.

**CITY OF GLENWOOD
RESOLUTION 3713**

**A RESOLUTION AUTHORIZING THE TRANSFER
OF FUNDS FROM ONE FUND TO ANOTHER FUND
DURING FISCAL YEAR 2025**

Be it Resolved by the City Council of the City of Glenwood, Iowa:

Section I. The city administrator is hereby authorized to transfer the following funds, as needed, effective upon approval:

FY 2025 Budget Amendment #3			
Out String	In String	Amount	Description
001-910-6910	200-910-4830	82,600.00	General to Debt Service
110-910-6910	001-210-4830	5,200.00	RUT to General
310-910-6910	200-910-4830	20,000.00	Marian Heights to Debt Service
316-910-6910	110-910-4830	78,000.00	2024 GO Bond to RUT to reimburse for engineer costs
121-910-6910	200-910-4830	403,000.00	LOST to Debt Service
121-910-6910	002-910-4830	505,000.00	LOST to Aquatic
005-910-6910	312-910-4830	220,000.00	ARPA to CDBG DTR
121-910-6912	001-950-4830	210,000.00	LOST to General - Moving multiple years County Contribution for Recreation Projects
309-910-6910	001-950-4830	93,851.78	2019 GO to General
001-910-6910	500-910-4500	14,830.00	General to Perpetual Care
Total		1,632,481.78	

Passed and approved this 13th day of May, 2025.

Attest:

Angela Winqvist, Mayor

Dannielle Arnold, City Clerk

**CITY OF GLENWOOD
RESOLUTION 3711**

**A RESOLUTION AUTHORIZING THE TRANSFER
OF FUNDS FROM ONE FUND TO ANOTHER FUND
DURING FISCAL YEAR 2026**

Be it Resolved by the City Council of the City of Glenwood, Iowa:

Section I. The city administrator is hereby authorized to transfer the following funds, as needed, effective upon approval:

FY 2026 Transfers			
Out String	In String	Amount	Description
001-910-6910	312-910-4830	37,000.00	General to CDBG DTR
121-910-6910	200-910-4830	383,225.02	LOST to Debt Service
121-910-6910	002-910-4830	481,633.00	LOST to Aquatic
Total		901,858.02	

Passed and approved this 13th day of May, 2025.

Attest:

Angela Winqvist, Mayor

Dannielle Arnold, City Clerk

BALANCE SHEET

CALENDAR 4/2025, FISCAL 10/2025

ACCOUNT NUMBER	ACCOUNT TITLE	PTD BAL.	YTD BAL.
001-000-1110	CASH - GENERAL	635,035.16	1,180,525.94
002-000-1110	CASH - AQUATIC CENTER	139,306.97-	170,719.86-
003-430-1110	CASH/CHECKING -PARK CAPITAL		7,000.00
004-450-1110	CASH - CEMETERY CAPITAL FUND		6,554.00
005-000-1110	CASH - ARPA		244,090.58
110-000-1110	CASH - ROAD USE TAX	22,619.39	1,063,151.99
112-000-1110	CASH - EMPLOYEE BENEFITS	228,130.78	1,264,576.29
119-000-1110	CASH - EMERGENCY FUND		528.10
121-000-1110	CASH - LOST	57,684.53	1,613,074.69
125-000-1110	CASH/CHECKING - TIF	55,312.50	168,897.17
131-000-1110	CASH - LIBRARY FURNISHING		6,956.45
173-000-1110	FEMA CASH/CHECKING		3,628.14
177-110-1110	CASH - ASSET FORFEITURE POLICE		12,215.41
200-000-1110	CASH - DEBT SERVICE	19,283.80	83,085.87
307-000-1110	CASH/CHECKING		4,596.75-
309-000-1110	CASH/CHECKING		43,691.78
311-000-1110	CASH/CHECKING - CDBG	232,262.61-	3,686.50
312-000-1110	CASH - DOWNTOWN REVITALIZATION	136,787.44-	60,796.44-
316-000-1110	CASH - 2024 BO BOND	4,052.82-	1,581,299.34
500-000-1110	PERPETUAL CARE CASH	140.00	19,684.47
		-----	-----
	CASH TOTAL	505,796.32	7,066,533.67
001-000-1111	CASH-AMPHITHEATER	46.48-	38,839.15-
001-210-1111	CASH - HWY 34 SIGN RESERVE		6,083.00
125-000-1111	LMI SET ASIDE	15,431.24	39,759.81
		-----	-----
	CASH TOTAL	15,384.76	7,003.66
001-000-1112	CASH - LIBRARY DONATIONS	370.03	10,068.35
131-000-1112	LIBRARY DONATIONS		2,460.00-
		-----	-----
	CASH TOTAL	370.03	7,608.35
307-000-1115	CASH - GSB SAVINGS/NOW		4,679.96
		-----	-----
	CASH TOTAL	.00	4,679.96
001-000-1119	CASH - FRANCHISE FEES	57,977.02	276,294.80
		-----	-----
	FRANCHISE FEES TOTAL	57,977.02	276,294.80
001-000-1120	PETTY CASH - GENERAL		170.00
		-----	-----
	PETTY CASH TOTAL	.00	170.00

BALANCE SHEET
CALENDAR 4/2025, FISCAL 10/2025

ACCOUNT NUMBER	ACCOUNT TITLE	PTD BAL.	YTD BAL.
001-000-1122	CASH - AMBULANCE		82,140.14
		-----	-----
	AMBULANCE CASH TOTAL	.00	82,140.14
001-000-1124	CASH - LODGING TAX	1,181.38	26,406.44
		-----	-----
	LODGING TAX CASH TOTAL	1,181.38	26,406.44
309-000-1130	RESERVES-2019 GO INVESTMT		50,160.00
		-----	-----
	RESERVES TOTAL	.00	50,160.00
131-000-1160	INVESTMENT - LIBRARY		6,350.00
		-----	-----
	INVESTMENTS TOTAL	.00	6,350.00
121-000-1190	INVESTMENT - CD		418,384.70
500-450-1190	PERPETUAL CARE - INVESTMENT		23,363.59
510-420-1190	INVESTMENTS - AMPHITHEATER		197,103.47
		-----	-----
	INVESTMENTS TOTAL	.00	638,851.76
500-450-1195	PERPETUAL CARE - SAVINGS		55,160.42
		-----	-----
	CASH TOTAL	.00	55,160.42
		=====	=====
	TOTAL CASH	580,709.51	8,221,359.20
		=====	=====

TREASURER'S REPORT

CALENDAR 4/2025, FISCAL 10/2025

ACCOUNT TITLE		LAST REPORT ON HAND	RECEIVED	DISBURSED	CHANGE IN LIABILITY	BALANCE
001	GENERAL	848,332.41	915,398.72	220,881.61		1,542,849.52
002	AQUATIC CENTER	31,412.89-		139,306.97		170,719.86-
003	PARK CAPITAL FUND	7,000.00				7,000.00
004	CEMETERY CAPITAL FUND	6,554.00				6,554.00
005	ARPA	244,090.58				244,090.58
110	ROAD USE TAX	1,040,532.60	59,357.15	36,737.76		1,063,151.99
111	I-JOBS					
112	EMPLOYEE BENEFITS	1,036,445.51	313,166.29	85,035.51		1,264,576.29
119	EMERGENCY	528.10				528.10
121	LOST-SPECIAL REVENUE	1,973,774.86	62,652.04	4,967.51		2,031,459.39
125	TAX INCREMENT FINANCIN	137,913.24	70,743.74			208,656.98
126	LMI					
131	LIBRARY FURNISHING	10,846.45				10,846.45
160	REVOLVING LOAN					
167	SIDEWALK					
173	FEMA	3,628.14				3,628.14
177	ASSET FORFEITURES-POLI	12,215.41				12,215.41
200	DEBT SERVICE	63,802.07	95,508.80	76,225.00		83,085.87
201	DEBT SERV LOST SINK FUND					
302	COMMUNITY RECREATION CTR					
303	POOL CAPITAL FUND					
306	LIBRARY ROOF PROJECT					
307	R-R PAVEMENT	83.21				83.21
308	VINE ST PAVEMENT					
309	2019 GO CAP PROJECTS	93,851.78				93,851.78
310	MARION HTS SEWER PROJ.					
311	CDBG HOUSING GRANT	235,949.11	186,729.25	418,991.86		3,686.50
312	DTR GRANT	75,991.00		136,787.44		60,796.44-
315	FEMA FLOOD					
316	2024 GO BOND	1,585,352.16		4,052.82		1,581,299.34
350	SQUARE RENOVATION					
500	CEMETERY PERPETUAL CAR	98,068.48	140.00			98,208.48
510	AMPHITHEATER CAPITAL	197,103.47				197,103.47
610	SEWER					
611	FMHA REPLACEMENT					
612	FMHA DS					
613	FMHA RESERVE					
Report Total		7,640,649.69	1,703,695.99	1,122,986.48	.00	8,221,359.20

REVENUE REPORT
CALENDAR 4/2025, FISCAL 10/2025

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	FISCAL ESTIMATE	PTD BALANCE	YTD BALANCE	PERCENT RECVD	UNCOLLECTED
	GENERAL TOTAL	3,756,401.00	915,398.72	3,234,419.95	86.10	521,981.05
	AQUATIC CENTER TOTAL	577,700.00	.00	32,442.63	5.62	545,257.37
	ROAD USE TAX TOTAL	1,548,000.00	59,357.15	1,398,738.99	90.36	149,261.01
	EMPLOYEE BENEFITS TOTAL	894,475.00	313,166.29	874,127.14	97.73	20,347.86
	EMERGENCY TOTAL	.00	.00	528.10	.00	528.10-
	LOST-SPECIAL REVENUE TOTAL	725,000.00	62,652.04	628,529.96	86.69	96,470.04
	TAX INCREMENT FINANCING TOTAL	213,781.00	70,743.74	153,568.71	71.83	60,212.29
	DEBT SERVICE TOTAL	758,600.00	95,508.80	262,298.12	34.58	496,301.88
	R-R PAVEMENT TOTAL	.00	.00	83.21	.00	83.21-
	CDBG HOUSING GRANT TOTAL	0,000,000.00	186,729.25	9,557,521.83	95.58	442,478.17
	DTR GRANT TOTAL	540,000.00	.00	114,767.00	21.25	425,233.00
	2024 GO BOND TOTAL	2,193,336.00	.00	2,193,336.41	100.00	.41-
	CEMETERY PERPETUAL CARE TOTAL	15,830.00	140.00	16,510.00	104.30	680.00-
	TOTAL REVENUE BY FUND	=====	=====	=====	=====	=====
		1,223,123.00	1,703,695.99	8,466,872.05	87.01	2,756,250.95
		=====	=====	=====	=====	=====

BUDGET REPORT

CALENDAR 4/2025, FISCAL 10/2025

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	GENERAL TOTAL	3,650,324.00	220,881.61	2,884,294.58	79.01	766,029.42
	AQUATIC CENTER TOTAL	600,635.00	139,306.97	277,694.11	46.23	322,940.89
	ARPA TOTAL	970,000.00	.00	520,438.82	53.65	449,561.18
	ROAD USE TAX TOTAL	1,596,500.00	36,737.76	1,200,469.01	75.19	396,030.99
	EMPLOYEE BENEFITS TOTAL	1,328,220.00	85,035.51	911,910.77	68.66	416,309.23
	LOST-SPECIAL REVENUE TOTAL	1,643,000.00	4,967.51	459,229.50	27.95	1,183,770.50
	TAX INCREMENT FINANCING TOTAL	134,051.00	.00	59,724.82	44.55	74,326.18
	DEBT SERVICE TOTAL	737,876.00	76,225.00	189,065.75	25.62	548,810.25
	2019 GO CAP PROJECTS TOTAL	93,852.00	.00	.00	.00	93,852.00
	MARION HTS SEWER PROJ. TOTAL	20,000.00	.00	.00	.00	20,000.00
	CDBG HOUSING GRANT TOTAL	0,001,000.00	418,991.86	9,577,713.07	95.77	423,286.93
	DTR GRANT TOTAL	550,000.00	136,787.44	141,980.44	25.81	408,019.56
	2024 GO BOND TOTAL	1,890,000.00	4,052.82	612,037.07	32.38	1,277,962.93
	TOTAL EXPENSES BY FUND	=====	=====	=====	=====	=====
		3,215,458.00	1,122,986.48	6,834,557.94	72.51	6,380,900.06
		=====	=====	=====	=====	=====

BUDGET REPORT

CALENDAR 4/2025, FISCAL 10/2025

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	POLICE TOTAL	1,454,018.00	117,253.95	1,110,509.46	76.38	343,508.54
	FIRE TOTAL	1,156,815.00	64,448.86	868,303.25	75.06	288,511.75
	COMMUNICATION CENTER TOTAL	184,000.00	.00	90,699.39	49.29	93,300.61
		-----	-----	-----	-----	-----
	PUBLIC SAFETY TOTAL	2,794,833.00	181,702.81	2,069,512.10	74.05	725,320.90
	STREET TOTAL	1,780,078.00	48,443.79	1,362,654.15	76.55	417,423.85
	SANITATION TOTAL	7,000.00	573.27	5,691.85	81.31	1,308.15
		-----	-----	-----	-----	-----
	PUBLIC WORKS TOTAL	1,787,078.00	49,017.06	1,368,346.00	76.57	418,732.00
	LIBRARY TOTAL	517,350.00	31,525.21	421,993.19	81.57	95,356.81
	AMPTHEATER TOTAL	12,275.00	47.32	15,250.36	124.24	2,975.36-
	PARK TOTAL	292,562.00	19,181.56	206,213.58	70.49	86,348.42
	RECREATION TOTAL	636,314.00	21,815.67	547,803.80	86.09	88,510.20
	POOL TOTAL	603,255.00	139,444.09	277,831.23	46.06	325,423.77
	CEMETERY TOTAL	174,787.00	10,918.03	128,937.29	73.77	45,849.71
		-----	-----	-----	-----	-----
	CULTURE & RECREATION TOTAL	2,236,543.00	222,931.88	1,598,029.45	71.45	638,513.55
	TREE BRD/COMM BEAUTIFICAT TOTA	2,000.00	685.23	1,755.23	87.76	244.77
	PLANNING AND ZONING TOTAL	15,000.00	.00	6,740.99	44.94	8,259.01
		-----	-----	-----	-----	-----
	COMMUNITY & ECONOMIC DEV TOTA	17,000.00	685.23	8,496.22	49.98	8,503.78
	ARPA FUNDS TOTAL	750,000.00	.00	520,438.82	69.39	229,561.18
	ADMINISTRATION TOTAL	432,595.00	32,573.88	355,040.20	82.07	77,554.80
	LEGAL TOTAL	50,000.00	18.50	43,431.00	86.86	6,569.00
	TORT LIABILITY TOTAL	280,000.00	.00	275,913.00	98.54	4,087.00
		-----	-----	-----	-----	-----
	GENERAL GOVERNMENT TOTAL	1,512,595.00	32,592.38	1,194,823.02	78.99	317,771.98
	DEBT SERVICE TOTAL	871,927.00	76,225.00	248,790.57	28.53	623,136.43
		-----	-----	-----	-----	-----
	DEBT SERVICE TOTAL	871,927.00	76,225.00	248,790.57	28.53	623,136.43
	POLICE TOTAL	140,000.00	.00	95,370.23	68.12	44,629.77
	CDBG HOUSING PROJECTS TOTAL	0,551,000.00	555,779.30	9,719,693.51	92.12	831,306.49
	FIRE TOTAL	100,000.00	.00	.00	.00	100,000.00
	STREET TOTAL	1,572,000.00	4,052.82	463,734.38	29.50	1,108,265.62
		-----	-----	-----	-----	-----
	CAPITAL PROJECTS TOTAL	2,363,000.00	559,832.12	0,278,798.12	83.14	2,084,201.88
	TRANSFERS TOTAL	1,632,482.00	.00	67,762.46	4.15	1,564,719.54
		-----	-----	-----	-----	-----

BUDGET REPORT
CALENDAR 4/2025, FISCAL 10/2025

PCT OF FISCAL YTD 83.3%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	TRANSFER OUT TOTAL	1,632,482.00	.00	67,762.46	4.15	1,564,719.54
		=====	=====	=====	=====	=====
	TOTAL OF ALL EXPENSES	3,215,458.00	1,122,986.48	6,834,557.94	72.51	6,380,900.06
		=====	=====	=====	=====	=====

RESOLUTION NO. 3714

Resolution Setting Date for a Public Hearing on Designation of the 2025 GRC Redevelopment Urban Renewal Area and on Urban Renewal Plan and Project

WHEREAS, a proposal has been made which shows the desirability of designating certain real property situated in the City of Glenwood, Iowa (the "City") as the 2025 GRC Redevelopment Urban Renewal Area (the "Urban Renewal Area") in order to facilitate projects for the promotion of economic development and the alleviation of blighted conditions, pursuant to the provisions of Chapter 403, Code of Iowa; and

WHEREAS, under the proposal, the real property (the "Property") described on Exhibit A hereto would be designated as the Urban Renewal Area; and

WHEREAS, this City Council is desirous of obtaining as much information as possible from the residents of the City before making this designation; and

WHEREAS, a proposed urban renewal plan (the "Plan") has been prepared for the governance of projects and initiatives to be undertaken in the Urban Renewal Area; and

WHEREAS, a portion of the Property meets the definition of "agricultural land" under Section 403.17 of the Code of Iowa and pursuant to said law, consent agreements (the "Ag Land Consent") has been prepared for execution by the owner (the "Ag Land Owner") of the Property; and

WHEREAS, it is now necessary that a date be set for a public hearing on the designation of the Urban Renewal Area and on the Plan;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Glenwood, Iowa, as follows:

Section 1. This City Council will meet at the Glenwood City Hall, 5 N. Vine Street, Glenwood, Iowa, on June 10, 2025, at 7:00 p.m., at which time and place it will hold a public hearing on the designation of the proposed Urban Renewal Area described in the preamble hereof and on the proposed Plan for said Urban Renewal Area.

Section 2. The City Clerk shall publish notice of said hearing, the same being in the form attached to this resolution, which publication shall be made in a legal newspaper of general circulation in the City, which publication shall be not less than four (4) and not more than twenty (20) days before the date set for the hearing.

Section 3. Pursuant to Section 403.5 of the Code of Iowa, the City Administrator, or his designee, is hereby designated as the City's representative in connection with the consultation process which is required under that section of the urban renewal law. It is hereby directed that

representatives of Mills County and the Glenwood Community School District be invited to participate in the consultation.

Section 4. The Plan is hereby submitted to the City's Planning and Zoning Commission for review and recommendations, as required by Section 403.5, Code of Iowa.

Section 5. Further, the City Administrator is hereby directed to present the Ag Land Consent for execution to the Ag Land Owner.

Passed and approved May 13, 2025.

Mayor - Angela Winqvist

Attest:

City Clerk - Dannielle Arnold

NOTICE OF A PUBLIC HEARING ON DESIGNATION OF THE 2025 GRC
Redevelopment Urban Renewal Area, AND ON PROPOSED URBAN RENEWAL
PLAN AND PROJECT

Notice Is Hereby Given: That at 7:00 p.m., at the Glenwood City Hall, 5 N. Vine Street, Glenwood, Iowa, on June 10, 2025, the City Council of the City of Glenwood, Iowa (the "City") will hold a public hearing on the question of designating as the 2025 GRC Redevelopment Urban Renewal Area (the "Urban Renewal Area"), pursuant to Chapter 403, Code of Iowa, the real property situated in the City of Glenwood, Mills County, State of Iowa, described as follows:

Parcel A being a part of Block 45 in the original Town of Glenwood, an official plat, as recorded in Book O, Page 606 of the Mills County Recorder, and a Part of Lot 6 in the subdivision of the East ½ of Section 13, Township 72 North, Range 43 West of the 5th P.M., an official plat, as recorded in Book 1, Page 20 of the Mills County Recorder, now included and forming a part of the City of Glenwood, Mills County, Iowa, as shown on plat of survey filed on February 13, 2025, in the office of the Mills County Recorder in Book 2025, Page 354.

AND

Parcel A being a part of Lot 10 in the subdivision of the East ½ Section 13, Township 72 North, Range 43 West of the 5th P.M., an official plat, as recorded in Book 1, Page 20 of the Mills County Recorder, Mills County, Iowa, as shown on plat of survey filed on February 13, 2025, in the office of the Mills County Recorder in Book 2025, Page 354.

AND

Parcel B being a part of Northeast Quarter of the Southwest Quarter (NE¼ SW¼) of Section 13, Township 72 North, Range 43 West of the 5th P.M.; a part of Blocks 45-48 and Outlots 14-16 in the original Town of Glenwood (Glenwood OTP), an official plat, as recorded in Book O, Page 606 of the Mills County Recorder; a part of Lot 4 and Lots 6-15 of the subdivision of the East Half (E½) of Section 13, Township 72 North, Range 43 West of the 5th P.M. an official plat, as recorded in Book 1, Page 20 of the Mills County Recorder; a part of Lot 2 of the subdivision of Lot 2, an official plat, as recorded Book 1, Page 48 of the Mills County Recorder; and a part of the North Half of the Southwest Quarter (N½ SW¼) of Section 18, Township 72 North, Range 42 West of the 5th P.M., now included and forming a part of the City of the City of Glenwood, Mills County, Iowa, as shown on plat of survey filed on February 13, 2025, in the office of the Mills County Recorder in Book 2025, Page 354.

EXCEPT those roads and streets under the jurisdiction of the City of Glenwood, Iowa.

AND EXCEPT

That portion of the above-referenced parcels transferred to the State of Iowa acting through the Iowa Department of Transportation in the Purchase Agreement and Interagency Transfer Agreement filed on February 20, 2025, in the office of the Mills County Recorder in Book 2025, page 405, described as follows:

Two parcels of land located in the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$, Lot 15, and Lot 11 of Section 13, Township 72 North, Range 43 West of the 5th P.M., and also in the NW $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section 18, Township 72 North, Range 42 West of the 5th P.M., all in Mills County, Iowa. Said parcels are more particularly described as follows:

Commencing at W $\frac{1}{4}$ Corner of Section 13, Township 72 North, Range 43 West of the 5th P.M., Mills County, Iowa, thence S0°11'02"W 1203.60 feet along the west line of the SW $\frac{1}{4}$ of said Section 13; thence S89°48'58"E 2418.84 feet to the Point of Beginning; thence N88°49'14"E 360.26 feet; thence N61°16'11"E 143.22 feet; thence N88°18'24"E 69.74 feet; thence S53°40'36"E 16.16; thence S39°35'27"W 91.80 feet; thence S63°39'26"W 190.67 feet; thence S88°41'21"W 219.79 feet; thence N52°29'36"W 150.50 feet to the Point of Beginning, containing 43,603 Square Feet or 1.00 acre.

and

Commencing at W $\frac{1}{4}$ Corner of Section 18, Township 72 North, Range 42 West of the 5th P.M., Mills County, Iowa, thence S0°12'22"W 779.67 feet along the west line of the SW $\frac{1}{4}$ of said Section 18 to the Point of Beginning; thence S89°25'08"E 38.93 feet; thence S1°52'37"W 64.60 feet; thence S89°53'15"W 46.75 feet; thence N0°07'11"W 65.15 feet; thence S89°25'08"E 10.07 feet to the Point of Beginning, containing 3,093 Square Feet or 0.07 acre.

The subject matter of the public hearing will also include a proposed urban renewal plan for the Urban Renewal Area identified above, pursuant to Chapter 403, Code of Iowa, a copy of which plan is on file for public inspection in the office of the City Clerk.

The general scope of the proposed urban renewal plan (the "Plan"), as more specifically described therein, includes eliminating and preventing conditions of blight; increasing the tax base and promoting economic growth in the City by encouraging economic development, constructing necessary public improvements and assisting private enterprise through tax increment financing incentives in the Urban Renewal Area.

At the hearing any interested person may file written objections or comments and may be heard orally with respect to the subject matter of the hearing.

Danielle Arnold

City Clerk

• • • • •

On motion and vote the meeting adjourned.

Mayor - Angela Winkvist

Attest:

City Clerk - Danielle Arnold

EXHIBIT A

Legal Description

2025 GRC Redevelopment Urban Renewal Area

Parcel A being a part of Block 45 in the original Town of Glenwood, an official plat, as recorded in Book O, Page 606 of the Mills County Recorder, and a Part of Lot 6 in the subdivision of the East $\frac{1}{2}$ of Section 13, Township 72 North, Range 43 West of the 5th P.M., an official plat, as recorded in Book 1, Page 20 of the Mills County Recorder, now included and forming a part of the City of Glenwood, Mills County, Iowa, as shown on plat of survey filed on February 13, 2025, in the office of the Mills County Recorder in Book 2025, Page 354.

AND

Parcel A being a part of Lot 10 in the subdivision of the East $\frac{1}{2}$ Section 13, Township 72 North, Range 43 West of the 5th P.M., an official plat, as recorded in Book 1, Page 20 of the Mills County Recorder, Mills County, Iowa, as shown on plat of survey filed on February 13, 2025, in the office of the Mills County Recorder in Book 2025, Page 354.

AND

Parcel B being a part of Northeast Quarter of the Southwest Quarter (NE $\frac{1}{4}$ SW $\frac{1}{4}$) of Section 13, Township 72 North, Range 43 West of the 5th P.M.; a part of Blocks 45-48 and Outlots 14-16 in the original Town of Glenwood (Glenwood OTP), an official plat, as recorded in Book O, Page 606 of the Mills County Recorder; a part of Lot 4 and Lots 6-15 of the subdivision of the East Half (E $\frac{1}{2}$) of Section 13, Township 72 North, Range 43 West of the 5th P.M. an official plat, as recorded in Book 1, Page 20 of the Mills County Recorder; a part of Lot 2 of the subdivision of Lot 2, an official plat, as recorded Book 1, Page 48 of the Mills County Recorder; and a part of the North Half of the Southwest Quarter (N $\frac{1}{2}$ SW $\frac{1}{4}$) of Section 18, Township 72 North, Range 42 West of the 5th P.M., now included and forming a part of the City of the City of Glenwood, Mills County, Iowa, as shown on plat of survey filed on February 13, 2025, in the office of the Mills County Recorder in Book 2025, Page 354.

EXCEPT those roads and streets under the jurisdiction of the City of Glenwood, Iowa.

AND EXCEPT

That portion of the above-referenced parcels transferred to the State of Iowa acting through the Iowa Department of Transportation in the Purchase

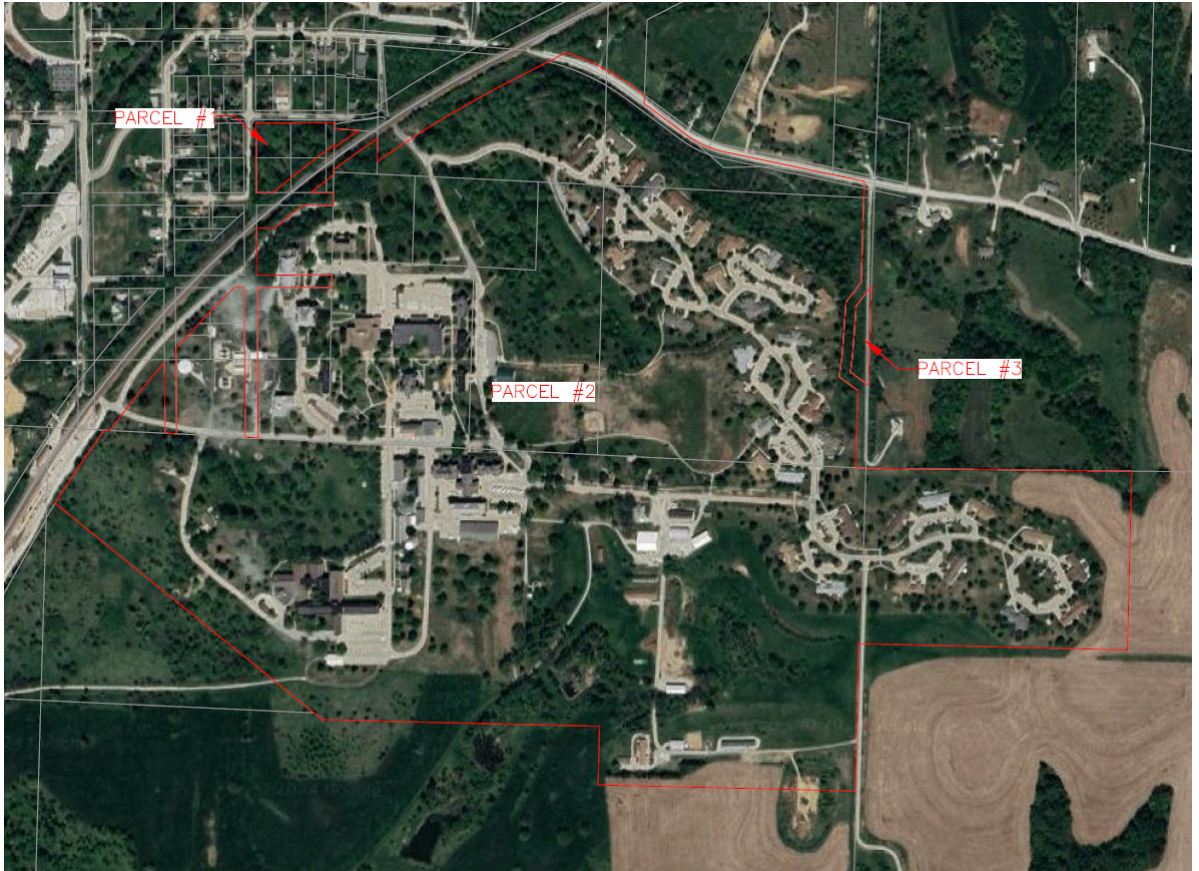
Agreement and Interagency Transfer Agreement filed on February 20, 2025, in the office of the Mills County Recorder in Book 2025, page 405, described as follows:

Two parcels of land located in the NE $\frac{1}{4}$ of the SW $\frac{1}{4}$, Lot 15, and Lot 11 of Section 13, Township 72 North, Range 43 West of the 5th P.M., and also in the NW $\frac{1}{4}$ of the SW $\frac{1}{4}$ of Section 18, Township 72 North, Range 42 West of the 5th P.M., all in Mills County, Iowa. Said parcels are more particularly described as follows:

Commencing at W $\frac{1}{4}$ Corner of Section 13, Township 72 North, Range 43 West of the 5th P.M., Mills County, Iowa, thence S0°11'02"W 1203.60 feet along the west line of the SW $\frac{1}{4}$ of said Section 13; thence S89°48'58"E 2418.84 feet to the Point of Beginning; thence N88°49'14"E 360.26 feet; thence N61°16'11"E 143.22 feet; thence N88°18'24"E 69.74 feet; thence S53°40'36"E 16.16; thence S39°35'27"W 91.80 feet; thence S63°39'26"W 190.67 feet; thence S88°41'21"W 219.79 feet; thence N52°29'36"W 150.50 feet to the Point of Beginning, containing 43,603 Square Feet or 1.00 acre.

and

Commencing at W $\frac{1}{4}$ Corner of Section 18, Township 72 North, Range 42 West of the 5th P.M., Mills County, Iowa, thence S0°12'22"W 779.67 feet along the west line of the SW $\frac{1}{4}$ of said Section 18 to the Point of Beginning; thence S89°25'08"E 38.93 feet; thence S1°52'37"W 64.60 feet; thence S89°53'15"W 46.75 feet; thence N0°07'11"W 65.15 feet; thence S89°25'08"E 10.07 feet to the Point of Beginning, containing 3,093 Square Feet or 0.07 acre.



RESOLUTION NO. 3715

RESOLUTION CALLING AN ELECTION ON THE PROPOSITION OF CHANGING THE ALLOCATION AND USE OF THE LOCAL OPTION SALES AND SERVICES TAX PROCEEDS RECEIVED BY THE CITY OF GLENWOOD

WHEREAS, pursuant to Chapter 423B of the Code of Iowa ("Chapter 423B"), an election duly held in accordance therewith on August 7, 2001, and an ordinance adopted by the Board of Supervisors of Mills County, the City of Glenwood, Iowa (the "City"), is entitled to receive proceeds (the "Local Option Proceeds") of a local option sales and services tax imposed in accordance with Chapter 423B; and

WHEREAS, the City has been allocating and using the Local Option Proceeds in accordance with the original ballot proposition; and

WHEREAS, the City now desires to change the allowed allocation and use of the Local Option Proceeds in order to provide support to the Mills County Wellness Center, Police Department, Fire Department, and any lawful purpose as deemed necessary from time to time by the City Council; and

WHEREAS, Chapter 423B provides that a change in the use or allocation of the Local Option Proceeds must be approved at an election at which a majority of the voters favor such change, and the City desires to proceed with such election; and

WHEREAS, Chapter 423B requires that the ballot proposition to be presented to the voters at such election must include the present use of the Local Option Proceeds, the proposed use of the Local Option Proceeds and the date on which the use of the Local Option Proceeds will be changed; and

WHEREAS, Chapter 423B requires that publication of the ballot proposition calling for the change in use be made not less than 60 days prior to the date of the election;

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Glenwood, Iowa, as follows:

Section 1. The City Council hereby requests the County Commissioner of Elections of Mills County to submit to the registered voters of the City, on November 5, 2025, at a regular municipal election to be held on such date, the question of changing the allocation of the Local Option Proceeds as set out below, such change to be effective on January 1, 2026.

Section 2. The purposes for which the Local Option Proceeds are currently being allocated shall be listed on the ballot as follows:

0% for Property Tax Relief

100% for the Mills County Wellness Center

Section 3. The purposes for which the Local Option Proceeds are proposed to be allocated shall be listed on the ballot as follows:

0% for Property Tax Relief

100% for the Mills County Wellness Center, Police Department, Fire Department, and any lawful purpose as deemed necessary from time to time by the City Council.

Section 4. The County Commissioner of Elections is hereby authorized and requested to issue a proclamation and notice of the election on the proposition and of the time and place thereof, in accordance with Chapter 423B, and to take all other actions necessary pursuant to state law to conduct the election.

Section 5. The City Clerk is hereby authorized and directed to work with the County Commissioner of Elections to cause notice of the ballot proposition, in substantially the form set forth as Exhibit A hereto, to be published in a legal newspaper of general circulation in the City, such notice to be published not less than sixty (60) days prior to the date of the election.

Section 6 All of the foregoing matters are adopted and resolved by this City Council, and the City Clerk is hereby directed to give written notice thereof by submitting a copy of this resolution to the Mills County Commissioner of Elections, who has the duty to conduct this election, for approval, ratification and confirmation to the extent required by Iowa law, and such County Commissioner of Elections shall signify such approval, ratification and confirmation and shall order the election to be conducted in the manner set forth herein by signing the order attached to this resolution.

Section 7. All resolutions or parts of resolutions in conflict herewith are hereby repealed, to the extent of such conflict.

Passed and approved May 13, 2025.

Angela Winquist, Mayor

Attest:

Dannielle Arnold, City Clerk

• • • • •

On motion and vote, the meeting adjourned.

Angela Winkvist, Mayor

Attest:

Dannielle Arnold, City Clerk

Exhibit A – Form of Notice of Ballot Proposition

NOTICE OF BALLOT PROPOSITION FOR CHANGE IN ALLOCATION AND USE OF LOCAL OPTION
SALES AND SERVICES TAX PROCEEDS IN AND FOR

THE CITY OF GLENWOOD, IOWA

Notice is hereby given that pursuant to Chapter 423B of the Code of Iowa, the City of Glenwood, Iowa has initiated action to cause the conducting of an election on the question of changing the allocation and use of the City's one percent (1.0%) local option sales and services tax proceeds. This election is intended to be held in the City of Glenwood, Iowa, at a regular election to be held on November 5, 2025. The ballot proposition to be voted upon at such election will read as follows:

SHALL THE FOLLOWING PUBLIC MEASURE BE ADOPTED?

YES _____

NO _____

Summary: To authorize a change in the allocation and use of the one percent (1.0%) local sales and services tax in the city of Glenwood, Iowa, effective January 1, 2026.

The use of the one percent (1.0%) local sales and services tax shall be changed in the city of Glenwood, Iowa, effective January 1, 2026.

PROPOSED USES OF TAX:

If the change is approved, revenues from the sales and services tax shall be allocated as follows:

0% for Property Tax Relief

100% for the Mills County Wellness Center, Police Department, Fire Department, and any lawful purpose as deemed necessary from time to time by the City Council.

CURRENT USES OF THE TAX:

Revenues from the sales and services tax are currently allocated as follows:

0% for Property Tax Relief

100% for the Mills County Wellness Center.

By order of the City Council of the City of Glenwood, Iowa.

City Clerk

RESOLUTION 3716
RESOLUTION SETTING DATE FOR A PUBLIC HEARING ON A FRANCHISE TO OPERATE
BLACK HILLS ENERGY A GAS UTILITY IN THE CITY OF GLENWOOD, IOWA

WHEREAS, the City of Glenwood, Iowa, has received a proposal from Black Hills Energy (the "Company") requesting the renewal of a franchise to operate and maintain a gas utility within the corporate limits of the City; and

WHEREAS, Iowa Code Section 364.2 allows cities to grant franchises to any person to erect, maintain, and operate plants and systems for electric light and power, heating, telegraph, cable television, district telegraph and alarm, motor bus, trolley bus, street railway or other public transit, waterworks, or gasworks, within the city for a term of not more than twenty-five years; and

WHEREAS, Section 364.2(4) of the Code of Iowa requires that before an ordinance granting a franchise is adopted, the City Council must first set a time and place for a public hearing to receive public input on the proposed ordinance;

WHEREAS, the City Council is considering the adoption of an ordinance granting said franchise; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Glenwood, Iowa:

1. That a public hearing shall be held on the 27th day of May, 2025, at 7:00 PM in the Council Chambers at City Hall, 5 N. Vine Street, Glenwood, Iowa, to consider an ordinance granting a franchise to Black Hills Energy to operate a gas utility within the City limits.
2. That the City Clerk is hereby directed to publish notice of the public hearing in accordance with Iowa law, at least four (4) but not more than twenty (20) days before the date of the hearing, in a newspaper of general circulation in the City.

Passed and approved this ____ day of _____, 2025.

CITY OF GLENWOOD, IOWA

By: _____
Angela Winquist, Mayor

ATTEST

Dannielle Arnold, City Clerk

Ordinance No.935

An Ordinance granting Black Hills/Iowa Gas Utility Company, LLC d/b/a Black Hills Energy, a Delaware corporation, its lessees, successors and assigns, a natural gas franchise and the authority to construct, operate, maintain, and extend a natural gas distribution plant and system, and granting the right to use the streets, alleys, and other public places within the present or future corporate limits of the City of Glenwood, Iowa

Be it ordained by the City Council of the City of Glenwood, Iowa, as follows:

NATURAL GAS FRANCHISE

FRANCHISE GRANTED

The City of Glenwood, Iowa (hereinafter referred to as "Grantor"), hereby grants a non-exclusive franchise to Black Hills/Iowa Gas Utility Company, LLC d/b/a Black Hills Energy, a Delaware limited liability corporation (hereinafter called "Grantee"), its lessees, successors and assigns. Grantee is hereby granted the right, privilege, franchise, permission and authority to lay, construct, install, maintain, operate and extend in, along, over, above or across the present and future streets, alleys, avenues, bridges, public rights-of-way and public easements as are now within the present or future limits of said Grantor, a natural gas distribution system and all facilities necessary for the purpose of supplying natural gas or processed gas and other operations connected therewith or incident thereto for all purposes to the inhabitants of said Grantor and consumers in the vicinity thereof, and for the distribution of natural gas from or through said Grantor to points beyond the limits thereof. Such facilities shall include, but not be limited to, all mains, services, pipes, poles, communication devices, conduits and all other apparatus and appliances necessary or convenient for transporting, distributing and supplying natural gas for all purposes for which it may be used, and to do all other things necessary and proper in providing natural gas service to the inhabitants of Grantor and in carrying on such business.

TERM

The rights and privileges granted hereunder shall remain in effect for a period of fifteen (15) years from the effective date of this Ordinance and for an additional ten (10) years thereafter unless Grantor provides written notice as provided herein to Grantee at least one hundred and eighty (180) days prior to the expiration of the initial term.

GOVERNING RULES AND REGULATIONS

The franchise granted hereunder is subject to all conditions, limitations and immunities now provided for, or as hereafter amended, and applicable to the operations of a public utility, by state or federal law. The rates to be charged by Grantee for service within the present or future corporate limits of Grantor and the rules and regulations regarding the character, quality and standards of service to be furnished by Grantee, shall be under the jurisdiction and control of such regulatory body or bodies as may, from time to time, be vested by law with authority and

jurisdiction over the rates, regulations and quality and standards of service to be supplied by Grantee. Provided however, should any judicial, regulatory or legislative body having proper jurisdiction take any action that precludes Grantee from recovering from its customers any cost associated with services provided hereunder, then Grantee and Grantor shall renegotiate the terms of this Ordinance in accordance with the action taken. In determining the rights and duties of the Grantee, the terms of this Ordinance shall take precedence over any conflicting terms or requirements contained in any other ordinance enacted by the Grantor.

PROVISION FOR INADEQUATE ENERGY SUPPLIES

If an energy supplier is unable to furnish an adequate supply of energy due to an emergency, an order or decision of a public regulatory body, or other acts beyond the control of the Grantee, then the Grantee shall have the right and authority to adopt reasonable rules and regulations limiting, curtailing or allocating extensions of service or supply of energy to any customers or prospective customers, and withholding the supply of energy to new customers, provided that such rules and regulations shall be uniform as applied to each class of customers or prospective customers, and shall be non-discriminatory as between communities receiving service from the Grantee.

CONSTRUCTION AND MAINTENANCE OF GRANTEE'S FACILITIES

Any pavements, sidewalks or curbing taken up and any and all excavations made shall be done in such a manner as to cause only such inconvenience to the inhabitants of Grantor and the general public as is reasonably necessary, and repairs and replacements shall be made promptly by Grantee, leaving such properties in as good as condition as existed immediately prior to excavation.

Grantee agrees that for the term of this franchise, it will use its best efforts to maintain its facilities and equipment in a condition sufficient to meet the current and future energy requirements of Grantor, its inhabitants and industries. While maintaining its facilities and equipment, Grantee shall obtain permits as required by ordinance and will fix its excavations within a commercially reasonable time period, except that in emergency situations Grantee shall take such immediate unilateral actions as it determines are necessary to protect the public health, safety, and welfare; in which case, Grantee shall notify Grantor as soon as reasonably possible. Within a reasonable time thereafter, Grantee shall request and Grantor shall issue any permits or authorizations required by Grantor for the actions conducted by Grantee during the emergency situation.

Grantor will give Grantee reasonable notice of plans for street improvements where paving or resurfacing of a permanent nature is involved that affects Grantee's facilities. The notice shall contain the nature and character of the improvements, the rights-of-way upon which the improvements are to be made, the extent of the improvements, and the time when the Grantor will start the work, and, if more than one right-of-way is involved, the order in which the work is to proceed. The notice shall be given to the Grantee as soon as practical in advance of the actual commencement of the work, considering seasonable working conditions, to permit the Grantee to make any additions, alterations, or repairs to its facilities.

EXTENSION OF GRANTEE'S FACILITIES

Upon receipt and acceptance of a valid application for service, Grantee shall, subject to its own economic feasibility criteria as approved by the Iowa Utilities Board make reasonable extensions of its distribution facilities to serve customers located within the current or future corporate limits of Grantor.

RELOCATION OF GRANTEE'S FACILITIES

If Grantor elects to change the grade of or otherwise alter any street, alley, avenue, bridge, public right-of-way or public place for a public purpose, unless otherwise reimbursed by federal, state or local legislative act or governmental agency, Grantee, upon reasonable notice from Grantor, shall remove and relocate its facilities or equipment situated in the public rights-of-way, at the cost and expense of Grantee, if such removal is necessary to prevent interference with Grantor's facilities.

If Grantor orders or requests Grantee to relocate its facilities or equipment for the primary benefit of a commercial or private project, or as a result of the initial request of a commercial or private developer or other non-public entity, and such removal is necessary to prevent interference with such project, then Grantee shall receive payment for the cost of such relocation as a precondition to relocating its facilities or equipment.

Grantor shall consider reasonable alternatives in designing its public works projects and exercising its authority under this section so as not to arbitrarily cause Grantee unreasonable additional expense. If alternative public right-of-way space is available, Grantor shall also provide a reasonable alternative location for Grantee's facilities. Grantor shall give Grantee written notice of an order or request to vacate a public right-of-way; provided, however, that its receipt of such notice shall not deprive Grantee of its right to operate and maintain its existing facilities in such public right-of way until it (a) if applicable, receives the reasonable cost of relocating the same and (b) obtains a reasonable public right-of-way, dedicated utility easement, or private easement alternative location for such facilities.

CONFIDENTIAL INFORMATION

Grantor acknowledges that certain information it might request from Grantee pursuant to this Ordinance may be of a proprietary and confidential nature, and that such requests may be subject to the Homeland Security Act or other confidentiality protections under state or federal law. If Grantee requests that any information provided by Grantee to Grantor be kept confidential due to its proprietary or commercial value, Grantor and its employees, agents and representatives shall maintain the confidentiality of such information, to the extent allowed by law. If Grantor is requested or required by legal or administrative process to disclose any such proprietary or confidential information, Grantor shall promptly notify Grantee of such request or requirement so that Grantee may seek an appropriate protective order or other relief.

FORCE MAJEURE

It shall not be a breach or default under this Ordinance if either party fails to perform its obligations hereunder due to force majeure. Force majeure shall include, but not be limited to, the following: 1) physical events such as acts of God, landslides, lightning, earthquakes, fires,

freezing, storms, floods, washouts, explosions, breakage or accident or necessity of repairs to machinery, equipment or distribution or transmission lines; 2) acts of others such as strikes, work-force stoppages, riots, sabotage, insurrections or wars; 3) governmental actions such as necessity for compliance with any court order, law, statute, ordinance, executive order, or regulation promulgated by a governmental authority having jurisdiction; and (4) any other causes, whether of the kind herein enumerated or otherwise not reasonably within the control of the affected party to prevent or overcome. Each party shall make reasonable efforts to avoid force majeure and to resolve such event as promptly as reasonably possible once it occurs in order to resume performance of its obligations hereunder; provided, however, that this provision shall not obligate a party to settle any labor strike.

HOLD HARMLESS

Grantee, during the term of this Ordinance, agrees to save harmless Grantor from and against all claims, demands, losses and expenses arising directly out of the negligence of Grantee, its employees or agents, in constructing, operating, and maintaining its distribution and transmission facilities or equipment; provided, however, that Grantee need not save Grantor harmless from claims, demands, losses and expenses arising out of the negligence of Grantor, its employees or agents.

SUCCESSORS AND ASSIGNS

All rights, privileges and authority granted to Grantee hereunder shall inure to the benefit of Grantee's lessees, successors and assigns, subject to the terms, provisions and conditions herein contained, and all obligations imposed upon Grantee hereunder shall be binding upon Grantee's lessees, successors and assigns.

NO THIRD PARTY BENEFICIARIES

This Ordinance constitutes a franchise agreement between the Grantor and Grantee. No provision of this Ordinance shall inure to the benefit of any third person, including the public at large, so as to constitute any such person as a third party beneficiary of the agreement or of any one or more of the terms hereof, or otherwise give rise to any cause of action for any person not a party hereto.

SEVERABILITY

If any clause, sentence or section of this Ordinance is deemed invalid by any judicial, regulatory or legislative body having proper jurisdiction, the remaining provisions shall not be affected.

NON WAIVER

Any waiver of any obligation or default under this Ordinance shall not be construed as a waiver of any future defaults, whether of like or different character.

REPEAL CONFLICTING ORDINANCES

This Ordinance, when accepted by Grantee as provided below, shall constitute the entire agreement between the Grantor and the Grantee relating to the franchise granted by Grantor hereunder, and the same shall supersede all prior ordinances relating thereto, and any terms and conditions of such prior ordinances or parts of ordinances in conflict herewith are hereby

repealed. Ordinance No. 654 of the City of Glenwood, Iowa, is hereby repealed as of the effective date hereof.

EFFECT AND INTERPRETATION OF ORDINANCE

The captions that precede each section of this Ordinance are for convenience and/or reference only and shall not be taken into consideration in the interpretation of any of the provisions of this Ordinance.

EFFECTIVE DATE AND ACCEPTANCE

This Ordinance shall become effective and be a binding contract between the Grantor and Grantee upon its final passage and approval by Grantor, in accordance with applicable laws and regulations, and upon Grantee's acceptance by written instrument, within sixty (60) days of passage by the city council, and filing with the Clerk of the City of Glenwood, Iowa. The Clerk of the City of Glenwood, Iowa shall sign and affix the community seal to acknowledge receipt of such acceptance, and return one copy to Grantee. If Grantee does not, within sixty (60) days following passage of this Ordinance, either express in writing its objections to any terms or provisions contained therein, or reject this Ordinance in its entirety, Grantee shall be deemed to have accepted this Ordinance and all of its terms and conditions.

Passed and approved by the city council of the City of Glenwood, Iowa, this _____ day of _____, 20____.

Mayor

Attest:

Clerk of City of Glenwood, Iowa

PAYMENT APPLICATION

Page 1

TO: City of Glenwood 5 N Vine St Glenwood, IA 51534 Attn: Amber Farnan	PROJECT NAME AND LOCATION: Glenwood Façade façade rehabilitation 5 N Vine St Glenwood, IA 51534	APPLICATION # 2 PERIOD THRU: 05/06/2025 PROJECT #s: Glenwood Façade	Distribution to: <input type="checkbox"/> OWNER <input type="checkbox"/> ARCHITECT <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> <input type="checkbox"/>
FROM: Cornerstone Commercial Contractors, Inc. 401 7th St Corning, Iowa 50841	ARCHITECT: Curtis Architecture & Design PC 3408 Woodland Ave, Suite 302 West Des Moines, IA 50266	DATE OF CONTRACT: 08/13/2024	
FOR: façade rehabilitation			

CONTRACTOR'S SUMMARY OF WORK

Application is made for payment as shown below.
Continuation Page is attached.

1. CONTRACT AMOUNT	<u>\$815,550.00</u>
2. SUM OF ALL CHANGE ORDERS	<u>\$0.00</u>
3. CURRENT CONTRACT AMOUNT (Line 1 +/- 2)	<u>\$815,550.00</u>
4. TOTAL COMPLETED AND STORED (Column G on Continuation Page)	<u>\$226,089.12</u>
5. RETAINAGE:	
a. 5.00% of Completed Work (Columns D + E on Continuation Page)	<u>\$11,304.46</u>
b. 5.00% of Material Stored (Column F on Continuation Page)	<u>\$0.00</u>
Total Retainage (Line 5a + 5b or Column I on Continuation Page)	<u>\$11,304.46</u>
6. TOTAL COMPLETED AND STORED LESS RETAINAGE (Line 4 minus Line 5 Total)	<u>\$214,784.66</u>
7. LESS PREVIOUS PAYMENT APPLICATIONS	<u>\$134,666.44</u>
8. PAYMENT DUE	<u>\$80,118.22</u>
9. BALANCE TO COMPLETION (Line 3 minus Line 6)	<u>\$600,765.34</u>

SUMMARY OF CHANGE ORDERS	ADDITIONS	DEDUCTIONS
Total changes approved in previous months	\$0.00	\$0.00
Total approved this month	\$0.00	\$0.00
TOTALS	\$0.00	\$0.00
NET CHANGES	\$0.00	

Contractor's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) the Work has been performed as required in the Contract Documents, (2) all sums previously paid to Contractor under the Contract have been used to pay Contractor's costs for labor, materials and other obligations under the Contract for Work previously paid for, and (3) Contractor is legally entitled to this payment.

CONTRACTOR: Cornerstone Commercial Contractors, Inc.

By: Jason Kentner Date: 2025.05.08 09:56:12 -05'00'
State of: Iowa County of: Adams
Subscribed and sworn to before me this 8th day of May 2025

Notary Public: Jaime Johnston
My Commission Expires: 01-19-2028

ARCHITECT'S CERTIFICATION

Architect's signature below is his assurance to Owner, concerning the payment herein applied for, that: (1) Architect has inspected the Work represented by this Application, (2) such Work has been completed to the extent indicated in this Application, and the quality of workmanship and materials conforms with the Contract Documents, (3) this Application for Payment accurately states the amount of Work completed and payment due therefor, and (4) Architect knows of no reason why payment should not be made.

CERTIFIED AMOUNT..... **\$80,118.22**

(If the certified amount is different from the payment due, you should attach an explanation. Initial all the figures that are changed to match the certified amount.)

ARCHITECT: Rodney L. Curtis, AIA
By: [Signature] Date: 05/09/2025

Neither this Application nor payment applied for herein is assignable or negotiable. Payment shall be made only to Contractor, and is without prejudice to any rights of Owner or Contractor under the Contract Documents or otherwise.

CONTINUATION PAGE

Page 2 of 6

PROJECT: Glenwood Façade
façade rehabilitation

APPLICATION #: 2
DATE OF APPLICATION: 05/06/2025
PERIOD THRU: 05/06/2025
PROJECT #s: Glenwood Façade

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G		H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
1	4 N Walnut	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$0.00	
1b	Masonry	\$18,200.00	\$0.00	\$9,100.00	\$0.00	\$9,100.00	50%	\$9,100.00	
1c	Carpentry	\$14,300.00	\$1,430.00	\$0.00	\$0.00	\$1,430.00	10%	\$12,870.00	
1d	Coping Cap	\$1,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,500.00	
1e	Painting	\$4,836.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$4,836.00	
1f	Caulking	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
1g	Aluminum Storefront	\$16,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$16,900.00	
1h	Door-Hardware	\$3,663.00	\$3,663.00	\$0.00	\$0.00	\$3,663.00	100%	\$0.00	
1i	Tile	\$3,200.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$3,200.00	
1j	Electrical	\$3,100.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$3,100.00	
1k	Asbestos	\$2,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,000.00	
1l	Misc building materials	\$1,875.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,875.00	
1m	Contingency 5%	\$3,974.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$3,974.00	
1n	Performance bond	\$2,500.00	\$2,500.00	\$0.00	\$0.00	\$2,500.00	100%	\$0.00	
1o	General conditions, overhead and	\$6,413.00	\$577.17	\$705.43	\$0.00	\$1,282.60	20%	\$5,130.40	
1p	Alternate #4 mosaic tile	\$9,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$9,300.00	
1q	Alternate #7 new gypboard ceiling	\$5,923.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,923.00	
2	6 N Walnut	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$0.00	
2a	Masonry	\$19,000.00	\$0.00	\$9,500.00	\$0.00	\$9,500.00	50%	\$9,500.00	
2b	Coping cap	\$1,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,500.00	
2c	Carpentry	\$8,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$8,400.00	
2d	Tile	\$3,200.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$3,200.00	
2e	Door rehab	\$1,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,500.00	
2f	Painting	\$5,620.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,620.00	
2g	Caulking	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
2h	Misc building materials	\$1,875.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,875.00	
2i	Contingency 5%	\$2,899.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,899.00	
2j	Performance bond	\$2,500.00	\$2,500.00	\$0.00	\$0.00	\$2,500.00	100%	\$0.00	
2k	General conditions, overhead and	\$13,379.00	\$535.16	\$2,140.64	\$0.00	\$2,675.80	20%	\$10,703.20	
	SUB-TOTALS	\$159,557.00	\$11,205.33	\$21,446.07	\$0.00	\$32,651.40	20%	\$126,905.60	

CONTINUATION PAGE

Page 3 of 6

PROJECT: Glenwood Façade
façade rehabilitation

APPLICATION #: 2
DATE OF APPLICATION: 05/06/2025
PERIOD THRU: 05/06/2025
PROJECT #s: Glenwood Façade

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G		H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
3	14 N Walnut	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$0.00	
3a	Masonry	\$28,700.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$28,700.00	
3b	Coping cap	\$1,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,500.00	
3c	Concrete grinding	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
3d	Carpentry	\$14,300.00	\$1,430.00	\$2,145.00	\$0.00	\$3,575.00	25%	\$10,725.00	
3e	Windows	\$20,445.00	\$20,445.00	\$0.00	\$0.00	\$20,445.00	100%	\$0.00	
3f	Doors	\$5,967.00	\$5,967.00	\$0.00	\$0.00	\$5,967.00	100%	\$0.00	
3g	Painting	\$3,848.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$3,848.00	
3h	Caulking	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
3i	Electrical	\$5,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,000.00	
3j	Radon	\$2,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,600.00	
3k	Misc building materials	\$1,875.00	\$0.00	\$187.50	\$0.00	\$187.50	10%	\$1,687.50	
3l	Contingency 5%	\$5,599.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,599.00	
3m	Performance bond	\$2,500.00	\$2,500.00	\$0.00	\$0.00	\$2,500.00	100%	\$0.00	
3n	General conditions, overhead and	\$23,241.00	\$6,042.66	\$464.82	\$0.00	\$6,507.48	28%	\$16,733.52	
4	424 1st St	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$0.00	
4a	Masonry	\$18,700.00	\$0.00	\$9,350.00	\$0.00	\$9,350.00	50%	\$9,350.00	
4b	Concrete	\$2,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,000.00	
4c	Carpentry	\$16,300.00	\$16,300.00	\$0.00	\$0.00	\$16,300.00	100%	\$0.00	
4d	Windows	\$14,495.00	\$14,495.00	\$0.00	\$0.00	\$14,495.00	100%	\$0.00	
4e	Flooring	\$2,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,000.00	
4f	Knox box	\$925.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$925.00	
4g	Aluminum storefront	\$11,368.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$11,368.00	
4h	Painting	\$10,578.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$10,578.00	
4i	Caulking	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
4j	Electrical	\$5,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,000.00	
4k	Radon	\$2,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,600.00	
4l	Asbestos	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
4m	Misc building materials	\$1,875.00	\$0.00	\$187.50	\$0.00	\$187.50	10%	\$1,687.50	
	SUB-TOTALS	\$364,973.00	\$78,384.99	\$33,780.89	\$0.00	\$112,165.88	31%	\$252,807.12	

CONTINUATION PAGE

Page 4 of 6

PROJECT: Glenwood Façade
façade rehabilitation

APPLICATION #: 2
DATE OF APPLICATION: 05/06/2025
PERIOD THRU: 05/06/2025
PROJECT #s: Glenwood Façade

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G		H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
4n	Contingency 5%	\$5,833.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,833.00	
4o	Performance bond	\$2,500.00	\$2,500.00	\$0.00	\$0.00	\$2,500.00	100%	\$0.00	
4p	General conditions, overhead and	\$26,322.00	\$7,106.94	\$2,105.76	\$0.00	\$9,212.70	35%	\$17,109.30	
4q	Alternate #2 paint cornice	\$4,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$4,400.00	
4r	Alternate #5 LVL flooring	\$3,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$3,300.00	
5	426 1st St	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$0.00	
5a	Masonry	\$21,000.00	\$0.00	\$10,500.00	\$0.00	\$10,500.00	50%	\$10,500.00	
5b	Concrete	\$1,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,500.00	
5c	Carpentry	\$15,700.00	\$0.00	\$3,925.00	\$0.00	\$3,925.00	25%	\$11,775.00	
5d	Windows	\$14,828.00	\$14,828.00	\$0.00	\$0.00	\$14,828.00	100%	\$0.00	
5e	Painting	\$4,175.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$4,175.00	
5f	Caulking	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
5g	Aluminum storefront	\$14,100.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$14,100.00	
5h	Electrical	\$5,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,000.00	
5i	Asbestos	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
5j	Radon	\$2,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,600.00	
5k	Misc building materials	\$2,500.00	\$0.00	\$250.00	\$0.00	\$250.00	10%	\$2,250.00	
5l	Contingency 5%	\$5,584.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,584.00	
5m	Performance bond	\$2,500.00	\$2,500.00	\$0.00	\$0.00	\$2,500.00	100%	\$0.00	
5n	General condtions, overhead and	\$25,771.00	\$3,865.65	\$3,350.23	\$0.00	\$7,215.88	28%	\$18,555.12	
5o	Alternate #6 hardwood flooring	\$11,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$11,300.00	
6	409 E Sharp St	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$0.00	
6a	Masonry	\$8,400.00	\$0.00	\$4,200.00	\$0.00	\$4,200.00	50%	\$4,200.00	
6b	Carpentry	\$6,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$6,400.00	
6c	Painting	\$3,808.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$3,808.00	
6d	Knox box	\$950.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$950.00	
6e	Aluminum storefront	\$9,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$9,900.00	
6f	Caulking	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
6g	Electrical	\$2,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,500.00	
	SUB-TOTALS	\$568,844.00	\$109,185.58	\$58,111.88	\$0.00	\$167,297.46	29%	\$401,546.54	

CONTINUATION PAGE

Page 5 of 6

PROJECT: Glenwood Façade
façade rehabilitation

APPLICATION #: 2
DATE OF APPLICATION: 05/06/2025
PERIOD THRU: 05/06/2025
PROJECT #s: Glenwood Façade

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G		H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
6h	Asbestos	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
6i	Misc building materials	\$1,875.00	\$0.00	\$187.50	\$0.00	\$187.50	10%	\$1,687.50	
6j	Contingency 5%	\$2,492.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,492.00	
6k	Performance bond	\$2,500.00	\$2,500.00	\$0.00	\$0.00	\$2,500.00	100%	\$0.00	
6l	General conditions, overhead and	\$11,500.00	\$575.00	\$920.00	\$0.00	\$1,495.00	13%	\$10,005.00	
7	411 E Sharp	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$0.00	
7a	Masonry	\$36,510.00	\$0.00	\$18,255.00	\$0.00	\$18,255.00	50%	\$18,255.00	
7b	Carpentry	\$6,900.00	\$0.00	\$1,380.00	\$0.00	\$1,380.00	20%	\$5,520.00	
7c	Doors	\$5,103.00	\$5,103.00	\$0.00	\$0.00	\$5,103.00	100%	\$0.00	
7d	Aluminum storefront	\$15,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$15,000.00	
7e	Painting	\$8,316.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$8,316.00	
7f	Caulking	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
7g	Electrical	\$2,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,500.00	
7h	Misc building materials	\$1,875.00	\$0.00	\$937.50	\$0.00	\$937.50	50%	\$937.50	
7i	Contingency 5%	\$5,181.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,181.00	
7j	Performance bond	\$2,500.00	\$2,500.00	\$0.00	\$0.00	\$2,500.00	100%	\$0.00	
7k	General condtions, overhead and	\$23,911.00	\$1,673.77	\$4,543.09	\$0.00	\$6,216.86	26%	\$17,694.14	
7l	Alternate #3 concrete entry floor	\$4,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$4,300.00	
8	11 N Vine	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		\$0.00	
8a	Masonry	\$24,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$24,500.00	
8b	Carpentry	\$14,780.00	\$1,478.00	\$0.00	\$0.00	\$1,478.00	10%	\$13,302.00	
8c	Windows	\$9,358.00	\$9,358.00	\$0.00	\$0.00	\$9,358.00	100%	\$0.00	
8d	Aluminum storefront	\$11,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$11,500.00	
8e	Painting	\$4,675.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$4,675.00	
8f	Doors	\$3,663.00	\$3,663.00	\$0.00	\$0.00	\$3,663.00	100%	\$0.00	
8g	Caulking	\$1,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$1,000.00	
8h	Electrical	\$3,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$3,400.00	
8i	Awning	\$6,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$6,500.00	
8j	Radon	\$2,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,600.00	
	SUB-TOTALS	\$783,283.00	\$136,036.35	\$84,334.97	\$0.00	\$220,371.32	28%	\$562,911.68	

CONTINUATION PAGE

Page 6 of 6

PROJECT: Glenwood Façade
façade rehabilitation

APPLICATION #: 2
DATE OF APPLICATION: 05/06/2025
PERIOD THRU: 05/06/2025
PROJECT #s: Glenwood Façade

Payment Application containing Contractor's signature is attached.

A	B	C	D	E	F	G		H	I
ITEM #	WORK DESCRIPTION	SCHEDULED AMOUNT	COMPLETED WORK		STORED MATERIALS (NOT IN D OR E)	TOTAL COMPLETED AND STORED (D + E + F)	% COMP. (G / C)	BALANCE TO COMPLETION (C-G)	RETAINAGE (If Variable)
			AMOUNT PREVIOUS PERIODS	AMOUNT THIS PERIOD					
8k	Misc building materials	\$2,875.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$2,875.00	
8l	Contingency 5%	\$5,440.00	\$0.00	\$0.00	\$0.00	\$0.00	0%	\$5,440.00	
8m	Performance bond	\$2,500.00	\$2,500.00	\$0.00	\$0.00	\$2,500.00	100%	\$0.00	
8n	General conditions, overhead and	\$21,452.00	\$3,217.80	\$0.00	\$0.00	\$3,217.80	15%	\$18,234.20	
TOTALS		\$815,550.00	\$141,754.15	\$84,334.97	\$0.00	\$226,089.12	28%	\$589,460.88	