

**Tentative Agenda
Glenwood City Council Meeting
January 28, 2025
City Hall ~ 7:00 p.m.**

Committee Meetings 6:00 - 7:00 pm

Admin

Public Works

-

-

Finance

Parks & Rec

- Budget Workshop Schedule

- Trail Grant Overview

Council Meeting - 7:00 p.m.

1. Call to order/roll call

2. Consent agenda - All items listed under the consent agenda will be enacted by one motion. There will be no separate discussion on these items unless a request is made prior to the time Council votes on the motion:

- | | |
|--|--|
| a. Agenda | d. Approve Bucksnot Grill & Sports Bar Class C
Liquor License |
| b. Abstract of Claims #14 | |
| c. Minutes from January 14, 2025 | e. Approve Fast Mart #551 Class E Liquor License |

3. Allow visitors to address council

Visitors may address the Council at this time; however, comments will be limited to 3 minutes. As per Iowa's Open Meetings Law, Council can only listen during public comments and cannot take any action on items that are not posted on the agenda. Council may take issues under advisement and if needed refer them to a department head, Mayor's committee, or add them to a future agenda.

4. Committee Reports

- | | |
|------------|----------------|
| a. Finance | b. Parks & Rec |
|------------|----------------|

5. Eagle Engineering

- a. Approval of additional [pool investigations by Ricchio, Inc.](#)
- b. Approval of geotechnical boring proposal for pool
- c. Motion to approve or deny matching funds for trail project with IDOT

6. Departmental Reports

- a. Painter – Library
- b. Collins – Cemetery
- c. Mattox – Park
- d. Clark-Public Works
 - i. Opening [Bids for a New Pick Up](#)
 - ii. Motion to Approve Bid for new Vehicle
 - iii. Motion to Approve Iowa DOT [Lease agreement](#) for Underbridge access Truck
 - iv. Motion to Approve [HGM 2025 Fracture Critical and Routine Bridge Inspection](#) in the amount of \$9,150.00
- e. Johansen – Police Dept
 - i. Cultivate Community
 - ii. Annual Report
- f. Gray – Fire & Rescue/ Code enforcement
- g. Kolf – Administration
 - i. Gworks Update
 - ii. [November Financial Reports](#)

7. Mills County Chamber of Commerce, Gitzy Loder - Motion to Approve Kegs & Eggs event [5k Run route](#) on 3/15/25.
8. Motion to Approve [Amending Residency Requirement](#) of Employment Agreement with City Administrator.
9. Approve [Resolution 3702](#) To Set Date of Public Hearing For [Budget Amendment #2](#) For February 25, 2025
10. Motion to Approve Library Board Appointment - Joe George
11. **Community Development Block Grant-Disaster Recovery Projects**
 - a. Motion to Approve the Following Pass Through CDBG Funds:
 - i. [GAX 52](#) - Arbor Hills -19-DRH-018 in the Amount of \$105,000.00
 - ii. [GAX 17](#)-712 Lofts-19-DRH-001 in the Amount of \$31,440.08
 - iii. [GAX 18](#)-712 Lofts- 19-DHR-001 in the amount of \$6,904.00
 - iv. [GAX 19](#)-712 Lofts 19-DHR-001 in the amount of \$22,354.62
 - v. [GAX 10](#)-Burr Oak 19-DHR-008 in the amount of \$33,870.98

12. Motion to Adjourn

Order of agenda at discretion of Mayor

For hearing assistance contact City Hall seven business days prior to the meeting date.

Virtually: <https://meet.goto.com/CityofGlenwood/> Phone: (786) 535-3211 Access Code: 738-827-117

January 14, 2025 Minutes
City Council Minutes

Glenwood City Council met in regular session on Tuesday, January 14, 2025, at 7:00 pm in Council Chambers. Mayor Angela Winquist called the meeting to order with the following present Council Members: Mike Lines, Natalie McEwen, Christina Duran, & Laurie Smithers. City employees: Fire Chief Gray, Police Chief Eric Johansen, Mitch Kolf, Joe George, Dannielle Arnold, Nancy Godfrey, Jamey Clark, Tara Painter, Officer Dan Kammerer and Mike Collins. Guests: Larry Winum, Sandi Winton, Tracy Bolte, Holly Jackson, Doug Hammer
Absent: Council Member Donnie Kates

The Pledge of Allegiance was recited.

Motion Duran/2nd McEwen to approve the Consent Agenda as printed: Tentative Agenda, Abstract of Claims # 13 and Minutes from December 17, 2024, Approve Dollar General #6216 Class B Liquor License Renewal. Roll Call: Ayes-4 Nays-0 Motion Carried

Oath of Office: Mitchell Kolf was administered the Oath of Office as City Administrator.

Presentation of Badges from the Family of Max Hammer. Motion Smithers/2nd Lines on Resolution 3701 honoring former City Employee Max Hammer and his contributions to the City of Glenwood; Roll Call: Ayes-4 Nays-0 Motion Carried.

Motion McEwen/2nd Duran for Eagle Engineering to Approve the Obtained Proposal for Geotechnical Analysis for Pool Assessment Roll Call: Ayes-4 Nays-0 Motion Carried.

Motion Smithers/2nd Lines Sharp Street (Myrtle to Locust) for Authorization to Prepare Plans and Specifications Roll Call: Ayes-4 Nays-0 Motion Carried Asphalt is deteriorating. Timing when it won't interfere with school.

Departmental Reports

Painter-Library-The library will be closed on 1/20 for staff day. There will be an extra library board session on 1/22 for budget discussion. 70 kids attended the library on Wednesday.

Collins-Cemetery- All scheduled projects were completed this summer. The next project will be to grind stumps.

Director Clark for Public Works-Motion to Approve Preconstruction and Cooperative Agreements with the Iowa DOT for Project DHS-706-0(018)-7H-65 (Glenwood Resource Center Highway 34 Corridor Access) - Larry Winum-Project Cost 4.5 million for roads. Roads off 34 are needed for potential housing or light commercial or retail access.

Police Chief Johansen-Motion McEwen/2nd Duran to Approve Promotion of Officer Zarate from Police Officer I to Police Officer II with Pay Rate Increase per Union Contract to \$28.35; Roll Call: Ayes-4 Nays-0 Motion Carried

Motion Smithers/2nd Lines to Approve a Conditional Offer with a Potential Start Date of April, 9th 2025 as a Police Officer I with a Pay Rate of \$25.58 per Union Contract; Roll Call: Ayes-4 Nays-0 Motion Carried Due to scheduled Training and being an active service member his start date makes more sense to start in April rather than start for 2 weeks and then have him leave for 2 months.

Police Dept reports 6 arrests and 354 calls for service since the last Council Meeting.

Fire Chief Gray-115 calls of service since last meeting, Structure Fire the weekend of the 11th, 1 gunshot wound, 2 Grants applied for and waiting on 3 more.

Kolf-Administration-Started role as City Administrator on Jan 6th. Meeting with several people and happy to be onboard.

Motion Smithers/2nd Lines to Approve Tobacco License Change for: Tobacco and Vape Store Effective January 1, 2025; Roll Call: Ayes-4 Nays-0 Motion Carried, Correlating with new law effective January 1, 2025

Motion McEwen/2nd Smithers to Approve Resolution 3698 - Setting Salaries and/or Benefits for certain Employees of the City of Glenwood, Iowa-Joe George as Consultant at a rate of \$37.50; Roll Call: Ayes-4 Nays-0 Motion Carried

Public Hearing-Regarding City of Glenwood to Enter Into a Copier Lease Agreement. Call to Order of Public Hearing at 7:37pm. Recognition of Publication: Notice of Public Hearing published on January 1, 2025, in The Opinion-Tribune. City Clerk Report of any Written Statements or Objections Filed at City Hall.-None were filed.Mayor Chair Call for Objections, Statements, and/or Exhibits for council consideration.There were no objections, Statements, and/or Exhibits for Council Consideration. Adjournment of Public Hearing was at 7:38pm.

Motion Duran/2nd Lines to Approve Resolution 3699-Resolution approving and authorizing a General Fund Copier Lease Agreement with lease payments thereunder in a principal amount not to exceed \$40,000; Roll Call: Ayes-4 Nays-0 Motion Carried. Access had the lowest bid and was most cost effective.

Public Hearing-Land Development Ordinance Call to Order of Public Hearing at 7:42pm. Recognition of Publication: Notice of Public Hearing published on January 1, 2025, in The Opinion-Tribune. City Clerk Report of any Written Statements or Objections Filed at City Hall. There were none reported. Mayor Chair Call for Objections, Statements, and/or Exhibits for Council Consideration. There were no Objections, Statements, and/or Exhibits for Council Consideration. Adjournment of Public Hearing at 7:44pm.

Public Hearing-Final Plat Oak Ridge Phase II. Call to Order of Public Hearing at 7:45pm. Recognition of Publication: Notice of Public Hearing published on January 1, 2025, in The Opinion-Tribune. City Clerk Report of any Written Statements or Objections Filed at City Hall. There were none to report. Mayor Chair Call for Objections, Statements, and/or Exhibits for Council Consideration. Tracy Bolte asked if easements were already included There were no other objections, statements, and/or exhibits for council consideration. Adjournment of Public Hearing was at 7:47pm.

Motion Lines/2nd Smithers to Approve Resolution 3700-Resolution Approving Oak Ridge Park Phase II Subdivision Final Plat; Roll Call: Ayes-4 Nays-0 Motion Carried.

Community Development Block Grant-Disaster Recovery Projects- Motion Smithers/2nd McEwen to Approve the Following Pass Through CDBG Funds: GAX 49 - Arbor Hills -19-DRH-018 in the Amount of \$75,181.92, GAX 50 - Arbor Hills -19-DRH-018 in the Amount of \$384,001.36. GAX 51 - Arbor Hills -19-DRH-018 in the Amount of \$113,093.35; Roll Call: Ayes-4 Nays-0 Motion Carried.

Motion Smithers/2nd McEwen to authorize Mayor, Mayor Pro Tempore, and City Administrator as alternate signatories on projects: 19-DRH-001, 19-DRH-003, 19-DRH-008, 19-DRH-018: Roll Call: Ayes-4 Nays-0 Motion Carried.

Community Development Block Grant-Downtown Revitalization- Motion Smithers/2nd McEwen to Approve Payment of Southwest Iowa Planning Council Invoice Number 1455-16 in the Amount of \$711.00; Roll Call: Ayes-4 Nays-0 Motion Carried.

Mayor's Report- Mayoral Proclamation Naming January as Fire Fighter Cancer Awareness Month, Assigned. 2025 Committee Appointments and welcomed Mitch.

Council Member Report- Thank you to Dannielle, Joe , Department heads for helping us get through this while being down staff.

Motion McEwen/2nd Duran to adjourn the meeting at 7:56pm; Ayes-4 Nays-0 Meeting Adjourned.

Angela Winquist, Mayor Attest:

Dannielle Arnold, City Clerk

BURBACH AQUATICS, INC. **ARCHITECTS & ENGINEERS**

5974 State Highway 80 South

P.O. Box 721

Platteville, Wisconsin 53818

PH (608) 348-3262 FAX (608) 348-4970

www.burbachaquatics.com

baae@centurytel.net

Glenwood IA

Date: 1/3/2025

Jake, PE

Eagle Engineering

Re: Pool facility evaluation progress report, Structural and Pipe Testing

This memo presents information that from the structural evaluation and pipe pressure testing update.

Albertson Engineering completed their GPR fieldwork. The fieldwork report is attached.

Ricchio, Inc. installed the test ports on the inlet pipes to facilitate pressure testing the pipes between the pool gutter connections and the pool mechanical equipment. The static pressure test of the gutter outlet pipes was also completed. These pipes were found to be in satisfactory condition.

Albertson Engineering is recommending additional evaluation tasks. Their report includes an exhibit showing where small areas of the concrete floor should be removed. These extractions would expose the condition of the water stops. Learning the condition of the water stops will present the condition of the joints and why the joints leak. The underside of the concrete floor will also be visible for evaluation. Additionally, Albertson Engineering is recommending geotechnical evaluation of the soils local to the concrete floor extraction locations. The soil evaluation at these locations will present soil characteristics which may be influencing the structure integrity.

BAI is recommending that your firm obtain a proposal for the geotechnical evaluation as recommended by AE. Geotechnical borings should reach the following depths. 8 feet in the deep end, or whatever max depth the piece of equipment can reach, likely a hand auger. 20 – 25 feet at the medium depth location, likely achieved by a small truck or tracked piece of equipment.

BAI is requesting a proposal from Ricchio, Inc. which includes the work scope to perform the concrete floor extractions and floor repair.

BAI recommends that your firm update the City regarding the elevation data collection that is being performed as part of this evaluation process.

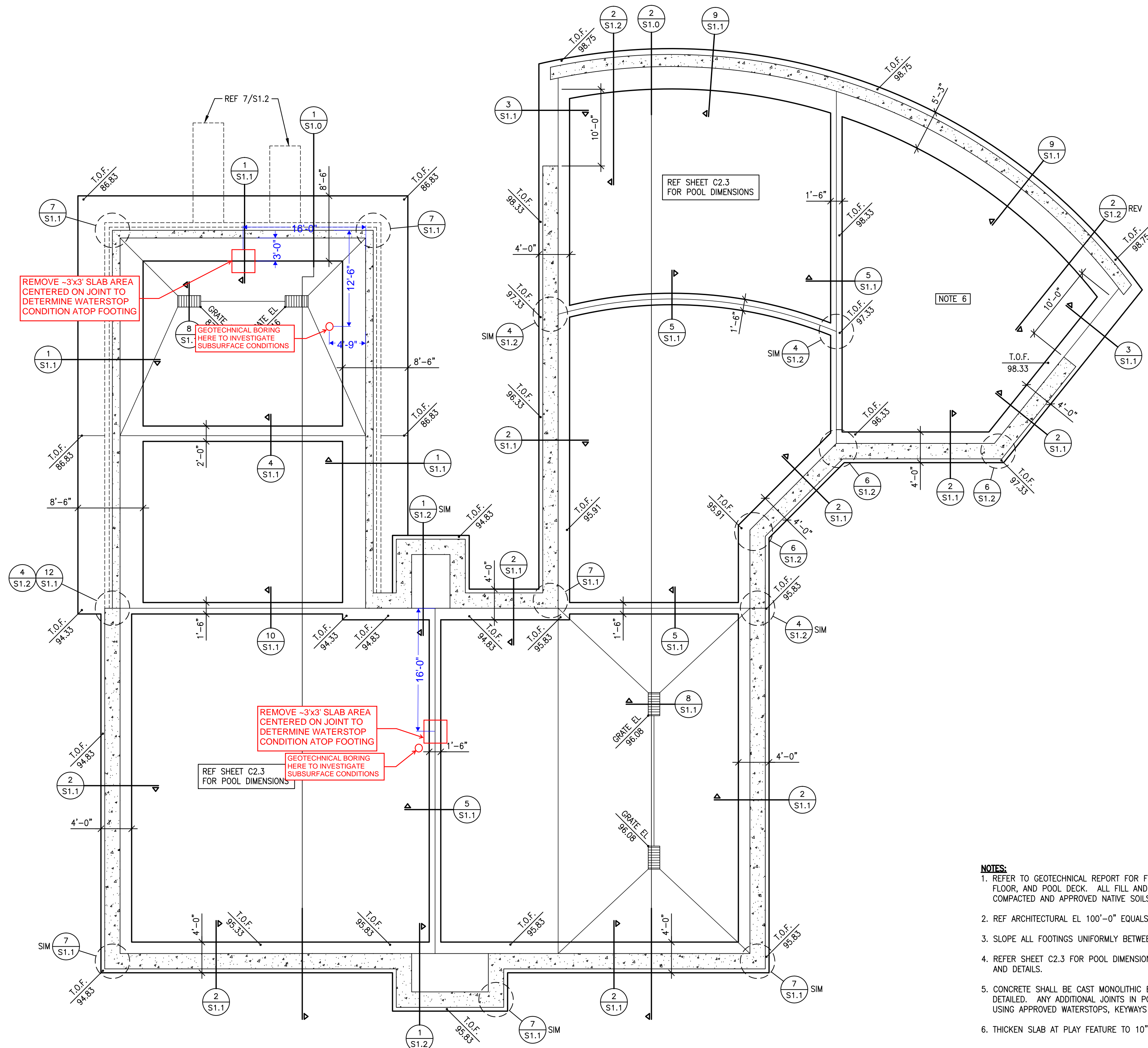
Feel free to contact us with any questions you have regarding this progress report.



JEO CONSULTING GROUP INC
 Ph: 402.934.3680
 11717 Burt St, Ste 210
 Omaha, NE 68154

2016
 CHARLES E. LAKIN
 AQUATIC CENTER
 GLENWOOD, IOWA

POOL FOUNDATION PLAN



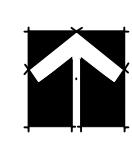
- NOTES:**
- REFER TO GEOTECHNICAL REPORT FOR FILL AND BACKFILL BELOW THE POOL WALLS, FLOOR, AND POOL DECK. ALL FILL AND BACKFILL SHALL BE PLACED AND COMPACTED ON COMPACTED AND APPROVED NATIVE SOILS OR FILL.
 - REF ARCHITECTURAL EL 100'-0" EQUALS CIVIL EL 995.00.
 - SLOPE ALL FOOTINGS UNIFORMLY BETWEEN ELEVATION REFERENCE POINTS SHOWN.
 - REFER SHEET C2.3 FOR POOL DIMENSIONS. REF SHEET C2.4 FOR UNDERDRAIN LAYOUT AND DETAILS.
 - CONCRETE SHALL BE CAST MONOLITHIC BETWEEN CONSTRUCTION AND EXPANSION JOINTS DETAILED. ANY ADDITIONAL JOINTS IN POOL FOOTINGS OR WALLS SHALL BE CONSTRUCTED USING APPROVED WATERSTOPS, KEYWAYS AND REINFORCING DOWELS PER 12/S1.1.
 - THICKEN SLAB AT PLAY FEATURE TO 10" PER SHEET C1.10.

RECORD DRAWINGS
 THESE RECORD DRAWINGS REPRESENT A COMPILATION OF INFORMATION AND FIELD MEASUREMENTS PROVIDED BY OTHERS. ALL DIMENSIONS AND DETAILS HAVE NOT BEEN VERIFIED BY JEO CONSULTING GROUP, INC.
 CONSTRUCTION COMPLETED: JULY 2016

PROJECT NO.	R131483
DATE	3/26/2015
DRAWN BY	Tos
FILE NAME	14-084s01.dwg
FIELD BOOK	MISC.#1
FIELD CREW	TW, HH
SURVEY FILE NO.	SV-131483.dwg
PLAN IN HAND	GPP
INITIALS	01/19/2015
DATE	2/16/2015
70 PERCENT REVIEW	TLH
INITIALS	2/16/2015
DATE	3/09/2015
95 PERCENT REVIEW	TLH
INITIALS	
DATE	
REVISIONS	

File name: L:\14-084-JEO Glenwood Aquatic\14-084s01.dwg Last plotted: 09/25/15 09:48 14-084s

FOUNDATION PLAN
 SCALE : 1/8" = 1'-0"



NIELSEN - BAUMERT ENGINEERING INC.
 9802 NICHOLAS STREET, SUITE 105 Omaha, NE 68114
 (402) 496-4750 FAX (402) 496-1147

S0.1

2025 Super Duty®

F-250® XL [Edit](#)



Digitally generated image shown. Actual vehicle may vary. See dealer for details.

2025 Super Duty® F-250® XL

Summary

Get an Internet Price

[Search Inventory](#)

Woodhouse Ford South Inc.
2288 Osage Ranch Blvd.
Plattsmouth, NE 68048

Sale Price
\$54,600.00
Paul Andrews



Preview Order 0120 - W2B 4x4 Crew Cab SRW: Order Summary Time of Preview: 01/20/2025 13:45:37 Receipt: NA

Dealership Name: McMullen Ford

Sales Code: F53556

Dealer Rep.	Darren Lytle	Type	Fleet	Vehicle Line	Superduty	Order Code	0120
Customer Name	Glenwood	Priority Code	B3	Model Year	2025	Price Level	520

DESCRIPTION	MSRP	DESCRIPTION	MSRP
F250 4X4 CREW CAB PICKUP/176	\$52100	FRONT LICENSE PLATE BRACKET	\$0
176 INCH WHEELBASE	\$0	PLATFORM RUNNING BOARDS	\$445
TOTAL BASE VEHICLE	\$52100	10000# GVWR PACKAGE	\$0
OXFORD WHITE	\$0	50 STATE EMISSIONS	\$0
CLOTH 40/20/40 SEAT	\$315	SPARE TIRE AND WHEEL	\$0
MEDIUM DARK SLATE	\$0	TRAILER BRAKE CONTROLLER	\$300
PREFERRED EQUIPMENT PKG.600A	\$0	JACK	\$0
.XL TRIM	\$0	360 DUAL WARN STRB AMBER/WHITE	\$650
.AIR CONDITIONING -- CFC FREE	\$0	SPECIAL DEALER ACCOUNT ADJUSTM	\$0
.AM/FM STEREO MP3/CLK	\$0	SPECIAL FLEET ACCOUNT CREDIT	\$0
.6.8L DEVCT NA PFI V8 ENGINE	\$0	FUEL CHARGE	\$0
10-SPEED AUTO TORQSHIFT-G	\$0	NET INVOICE FLEET OPTION (B4A)	\$0
.LT245/75R17E BSW ALL-SEASON	\$0	PRICED DORA	\$0
3.73 ELECTRONIC-LOCKING AXLE	\$430	ADVERTISING ASSESSMENT	\$0
JOB #1 ORDER	\$0	DESTINATION & DELIVERY	\$1995
FORD FLEET SPECIAL ADJUSTMENT	\$0		
TOTAL BASE AND OPTIONS			MSRP \$56235
DISCOUNTS			NA
TOTAL			\$56235

Sale **\$49,261** ⁰⁰/₁

ORDERING FIN: QD202 END USER FIN: QD202

Customer Name:
Customer Address:

Customer Email:
Customer Phone:

Customer Signature

Date



Woodhouse Chevy

Rick Kahla | 712-642-4131 | richard.kahla@woodhouse.com

[Fleet] 2025 Chevrolet Silverado 2500HD (CK20943) 4WD Crew Cab 172" Work Truck (2) (✔ Complete)

Quote: City of Glenwood

Quote Worksheet

	MSRP
Base Price	\$51,800.00
Dest Charge	\$1,995.00
Total Options	\$795.00
Subtotal	\$54,590.00
Government Bid Assistance	(\$3,000.00)
Subtotal Pre-Tax Adjustments	(\$3,000.00)
Less Customer Discount	(\$3,200.00)
Subtotal Discount	(\$3,200.00)
Trade-In	\$0.00
Subtotal Trade-In	\$0.00
Taxable Price	\$48,390.00
Sales Tax	\$0.00
Subtotal Taxes	\$0.00
Doc Fee	\$179.00
Subtotal Post-Tax Adjustments	\$179.00
Total Sales Price	\$48,569.00

Dealer Signature / Date

Customer Signature / Date

This document contains information considered Confidential between GM and its Clients uniquely. The information provided is not intended for public disclosure. Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided.
 Data Version: 24420. Data Updated: Jan 9, 2025 6:43:00 PM PST.



SMARTER | SIMPLER | CUSTOMER DRIVEN

www.iowadot.gov

Office of Bridges & Structures/Highway Division 800 Lincoln Way, Ames, IA 50010
Phone: 515-233-7725 Fax: 515-239-1978 Email: david.bare@iowadot.us

January 8, 2025

Amber Farnan
City of Glenwood
5 N. Vine St.
Glenwood, IA 51534

Enclosed is the lease agreement that needs to be signed and returned to us before the first scheduled workday.

Please note I have estimated 10 hrs of working and traveling for the Under-Bridge Inspection Vehicle.

The total price I have used (\$2,336.46) is an estimate. The actual price will be finalized after the project has been completed.

The lease agreement contains a requirement that all individuals working with the Under-Bridge Access Equipment must verify they have had fall protection training according to the OSHA regulations specified in the agreement.

If you have any questions, please feel free to contact me at 515-233-7725.

PROPERTY LEASE AGREEMENT For UNDERBRIDGE ACCESS TRUCK

Lessee City of Glenwood

Address 5 North Vine St., Glenwood, Iowa, 51534

Contact Person/Title: Amber Farnan Phone No. 712-527-4717

Requested From Office of Bridges and Structures

Contact Person: David Bare Phone No. 515-233-7725

List property, intended use, assigned location, and equipment number(s): Under-Bridge Inspection Vehicle A-30506 truck, B-35979 mounted unit, located in Ames. Equipment is being used to access bridges owned by the City of Glenwood.

Condition Good

DOT operator(s) are required. Date requested from: February 25, 2025 to: _____
Recommended: Micheal Todsén Date: January 8, 2025
Office Director or
Bridge Maintenance Engineer

Estimated lease fee based on requested usage:

		Units		Unit Costs		Subtotal
Property	Under-Bridge Inspection Vehicle	<u>10 hrs</u>	x	<u>125.00</u>	=	<u>1,250.00</u>
Personnel	Truck Operator	<u>10 hrs</u>	x(<u>34.23</u> <small>Hourly Rate</small>	x	<u>1,8033</u> <small>Additive**</small>) =
						<u>617.26</u>
Personnel	Platform Operator	<u>7 hrs</u>	x(<u>39.44</u> <small>Hourly Rate</small>	x	<u>1,8033</u> <small>Additive**</small>) =
						<u>497.85</u>
Misc. Expense	_____				=	_____
Misc. Expense	_____	x			=	<u>0.00</u>

* Attach additional sheets as necessary

** Additive is published annually, usually August 1, by Office of Finance

Estimated Total \$ 2,365.11

LEASE TERMS AND LESSEE LIABILITY STATEMENTS

1. The lessee, if an agency of the State, agrees to indemnify, save, and hold harmless the Iowa Department of Transportation from liability for any personal injury, death, or property damage of any kind or nature which may arise out of use or lease of the property.
2. The lessee, if a political subdivision of the State, its agents and employees agree to defend all claims, demands, or actions against the State, its agents and employees, and to indemnify, save, and hold harmless the State, its agents and employees from liability for any personal injury, death, or property damage of any kind or nature which may arise out of use or lease of the property.
3. The lessee, if a person or corporation completing a contract with the Department, agrees to defend all claims, demands, or actions against the State, its agents and employees, and to indemnify, save, and hold harmless the State, its agents and employees from liability for any personal injury, death, or property damage of any kind or nature which may arise out of use or lease of the property. A contractor shall be required to comply with the liability and insurance requirements of sections 1107.02 and 1107.12 of the Standard Specifications for Highway and Bridge Construction and supplements thereto.
4. Should loaned Iowa Department of Transportation employees required under the terms of this agreement as qualified operator become injured while loaned to the lessee, the lessee shall defend, indemnify, and hold harmless the Iowa Department of Transportation from any worker's compensation claims or sick leave that may arise out of said injuries.
5. The lessee agrees to be the only party authorized to use the leased property. This lease cannot be assigned to another party.
6. The lessee agrees to pick up the property and return it to the Department in good condition, allowing for wear due to normal usage during the lease period. The lessee also agrees to compensate the Department for any damage to the property during the lease period.
7. The lessee shall return the leased property to the Department on or before the day specified in the agreement or on demand by the Department.
8. The lessee promises, and shall certify, that only a qualified, licensed person shall be assigned to operate leased Department property requiring a qualified operator.
9. THE LESSEE AGREES TO ACCEPT PROPERTY AS-IS WITH NO WARRANTIES OF ANY KIND, INCLUDING WARRANTIES OF FITNESS FOR A PARTICULAR PURPOSE OR MERCHANTABILITY. LESSEE ALSO WAIVES THE RIGHT TO ANY DAMAGES INCLUDING INCIDENTAL AND CONSEQUENTIAL DAMAGES ARISING OUT OF THE RENTAL AND USE OF EQUIPMENT.
10. The lessee promises, and shall certify, that all individuals working with Iowa DOT bridge inspection equipment have been trained and evaluated in accordance with applicable OSHA safety regulations. These regulations include, but are not limited to, fall protection (29 C.F.R. 1926 Subpart M), vehicle-mounted elevating and rotating work platforms (29 C.F.R. 1910.67) and operations near overhead electric power lines (29 C.F.R. 1910.333). The lessee is solely responsible for implementing the applicable OSHA safety regulations during the terms of this property lease agreement. The lessee shall provide all necessary fall protection equipment.

As an authorized representative _____ City of Glenwood _____, I agree to lease the property and operator for _____ from _____ the Iowa Department of Transportation as stated on the reverse side and will return the property to the location where it was obtained on or before the return date listed. I also agree to the Lease Terms and Lessee Liability Statements above. I understand that final billing will be calculated on actual usage based on the stated unit costs and that the estimated total fee is subject to change. Alternatively, an equivalent exchange of benefits, for example, county employee labor in exchange for use of Department equipment, may be agreed upon and documented.

Lessee's Authorized Representative _____

Title _____

Date _____

Date Returned

Condition

Final Fee:

Property	Units	Unit Costs	Subtotal
<u>Under-bridge Inspection Vehicle</u>		x <u>125.00</u>	= <u>0.00</u>
Personnel <u>Truck Operator</u>		x(<u>34.23</u> x <u>1.8033</u>)	= <u>0.00</u>
		Hourly Rate Additive*	
Personnel <u>Platform Operator</u>		x <u>39.44</u> x <u>1.8033</u>)	= <u>0.00</u>
		Hourly Rate Additive*	
Misc. Expense			
Misc. Expense		x	= <u>0.00</u>
			Total \$ <u>0.00</u>

* Additive is published annually, usually August 1, by Office of Finance

Prepared by

Date

hgm
ASSOCIATES INC.

January 14, 2025

Mr. Jamey Clark
Public Works Director
City of Glenwood
5 North Vine Street
Glenwood IA 51534

Subject: 2025 Fracture Critical and Routine Bridge Inspection
Five (5) Structures
HGM Proposal No. 000725-010

Dear Mr. Clark:

On behalf of HGM ASSOCIATES INC. (HGM) we are pleased to submit this letter form agreement for engineering services for the referenced project. This agreement consists of this letter, the attached Scope of Services labeled as Exhibit A and the attached General Provisions labeled as Exhibit B.

HGM will provide Basic Services including Bridge Inspection. These services are more specifically defined in the attached Scope of Services, Exhibit A. We will also provide Additional Services upon your request and receipt of your written authorization.

HGM will provide these Basic Services for a lump sum amount of \$9,150.00. This amount includes \$5,400.00 for the Field Inspection and Office Processing of the Bridge Inspection Reports, and \$3,750.00 for Updating Bridge Data to SNBI required format. A snooper truck is required for the inspection of the Sharp Street Bridge. The rental of this equipment is not included in HGM's Basic Services and per Iowa DOT requirements, a contract for this equipment will have to be executed by the City of Glenwood. Load ratings will be charged on an hourly basis when specifically authorized.

We will bill you monthly for our services and reimbursable expenses proportionate to the work completed on the project. All fees are due and payable to HGM within 30 days of the invoice date. A service charge of one and one-half percent per month will be added to any amounts outstanding after 30 days.

Mr. Jamey Clark


January 14, 2025

Page 2 of 2

We anticipate that we will be able to complete all field inspections during the month of February 2025. Final reports will be entered into the Iowa DOT database within 30 days, and final reports will be delivered within 60 days of the date of inspection. We estimate that all work can then be completed in accordance with the requirements of I.M. 2.120. If at any time we are delayed in the performance of these services, we will notify you immediately in writing. Please note that any information to be provided by you as defined under Client's Responsibilities in the attached Scope of Services will need to be furnished to HGM prior to our beginning work.

Please indicate your acceptance of this agreement by signing where indicated below and returning one original signed copy to this office; OR, you may then scan a complete set of this document and email it in its entirety to HGM. We sincerely appreciate the opportunity to work with you.

Yours very truly,
HGM ASSOCIATES INC. - CONSULTANT



Stephen W. Moffitt, P.E.
Structural Project Manager

Acceptance of Proposal:
CITY OF GLENWOOD - CLIENT

Authorized Signature

Printed Name & Title

Date of Acceptance

This is an exhibit attached to and made part of the letter agreement dated January 14, 2025, between: CITY OF GLENWOOD, IOWA (CLIENT) and HGM ASSOCIATES INC. (CONSULTANT).

Project Description: 2025 Fracture Critical and Routine Bridge Inspections
Five (5) Structures
HGM Proposal No. 000725-010

The Basic Services to be provided by the CONSULTANT under this agreement are further described as follows:

1) Field Inspection

- a) CONSULTANT will perform a Routine or Fracture Critical (FC) Inspection of the bridges. Inspections will be performed using personnel that are qualified as Team Leaders in accordance with CFR Section 650 Subpart C. Photographs will be taken of the roadway and general elevation views of the structure in addition to detail photos of deficiencies that are found. Underwater inspection of these structures will be performed whenever possible by conventional methods (sounding, probing, or use of chest waders). Use of divers is not included in this proposal. Routine and FC inspections will be performed in accordance with IDOT I.M. 2.120.

2) SIMMS Report Input

- a) CONSULTANT will complete an inspection report for each structure using the IDOT online SIIMS database in accordance with I.M. 2.120. Specific sections of the report that will be completed include:
 - i) Inspection Info Tab - Update existing information as necessary
 - ii) Bridge Data Tab - Update existing information as necessary
 - iii) Deck Tab - Input inspector comments into SIIMS from hardcopy sheets
 - iv) Superstructure Tab - Input inspector comments into SIIMS from hardcopy sheets
 - v) Substructure Tab - Input inspector comments into SIIMS from hardcopy sheets
 - vi) Channel Tab - Input inspector comments into SIIMS from hardcopy sheets
 - vii) Culvert Tab - Input inspector comments into SIIMS from hardcopy sheets
 - viii) SI&A Tab - Update existing information as necessary
 - ix) Pictures Tab - Upload and caption all photos taken during the field inspection
 - x) Forms Tab - Ensure correct forms are included for each bridge record
 - xi) Report Sections - Ensure correct report sections are included for each bridge record
 - xii) Channel Section - Input channel section data collected during field inspection.
 - xiii) Inspection Certification including the Team Leaders or Program Managers signature.
 - xiv) *Recommended Maintenance Items Checklist* showing the deficient items that should be corrected as part of the routine bridge maintenance program.

3) Critical Finding Reports

- a) CONSULTANT will complete the information in the Critical Finding Report tab if a meets the criteria for a critical finding as listed in I.M. 2.120.
- b) CONSULTANT will follow the procedure outlined in the I.M. for addressing critical findings.

4) Hardcopy Inspection Report

- a) CONSULTANT will provide a black and white printed copy of the inspection report generated by SIIMS. A disc containing PDF copies of the reports will be included in addition to the hardcopies.

5) Load Rating

- a) CONSULTANT will provide load ratings on an hourly basis with the authorization of the County Engineer and will prepare the SIIMS Load Rating Report for authorized work.

6) Electronic Bridge Database

- a) CONSULTANT will provide a spreadsheet index of all NBIS bridges under the County's jurisdiction that will link to a PDF copy of each report. In addition, the spreadsheet will include a sortable database of maintenance recommendations for each bridge.

7) SNBI Update

- a) CONSULTANT will complete the office update of the SIIMS database for the five (5) bridges inspected during this cycle. This update will result in approximately one-half of the Harrison County bridge inventory being brought into compliance with the mandated change to the SNBI reporting requirements.

Client Responsibilities

1. Execute a rental contract with the Iowa DOT for the use of their snooper truck to perform the fracture critical inspection of the Sharp Street Bridge.

Notes:

1. Fee is based on one inspector for 4 of the 5 bridges. A second team member is required for the fracture critical bridge.

This is an exhibit attached to and made part of the letter agreement dated January 14, 2025, between: CITY OF GLENWOOD, IOWA (CLIENT) and HGM ASSOCIATES INC. (CONSULTANT). The General Provisions agreed to by CONSULTANT and CLIENT are as follows:

Ownership of Instruments of Service: All reports, plans, specifications, field data, field notes, laboratory test data, calculations, estimates, and other documents prepared by the CONSULTANT as instruments of service shall remain the property of the CONSULTANT. The CONSULTANT shall retain these records for a period of ten (10) years, during which period they will be made available to the CLIENT at all reasonable times. CONSULTANT will provide CLIENT with a paper copy of the plans, the specifications, and laboratory test reports for information and reference in connection with the project; however, such documents are not intended or represented to be suitable for reuse by CLIENT or others. Any such reuse will be at CLIENT'S sole risk and without liability or legal exposure to CONSULTANT or CONSULTANT'S subconsultants.

CADD/Electronic Files: In accepting, and utilizing any drawings, reports and data on any form of electronic media generated by the CONSULTANT, the CLIENT agrees that all such electronic files are instruments of service. The CLIENT agrees to waive all claims against the CONSULTANT resulting in any way from any unauthorized changes to, or reuse of, the electronic files for any projects by anyone other than the CONSULTANT. In the event of a conflict between printed hard copy documents signed and sealed by the CONSULTANT and electronic files, the hard copy documents shall govern.

Termination or Suspension: If the CLIENT fails to make payments to the CONSULTANT in accordance with this Agreement, such failure shall be considered substantial nonperformance and cause for termination or, at the CONSULTANT'S option, cause for suspension of performance of services under this Agreement. If the CONSULTANT elects to suspend services, the CONSULTANT shall give seven days' written notice to the CLIENT before suspending services. In the event of a suspension of services, the CONSULTANT shall have no liability to the CLIENT for delay or damage caused the CLIENT because of such suspension of services. Before resuming services, the CONSULTANT shall be paid all sums due prior to suspension and any expenses incurred in the interruption and resumption of the CONSULTANT'S services. The CONSULTANT'S fees for the remaining services and the time schedules shall be equitably adjusted.

If the CLIENT suspends the Project, the CONSULTANT shall be compensated for services performed prior to notice of such suspension. When the Project is resumed, the CONSULTANT shall be compensated for expenses incurred in the interruption and resumption of the CONSULTANT'S services. The CONSULTANT'S fees for the remaining services and the time schedules shall be equitably adjusted.

Either party may terminate this Agreement upon not less than seven days' written notice should the other party fail substantially to perform in accordance with the terms of this Agreement through no fault of the party initiating the termination.

In the event of termination not the fault of the CONSULTANT, the CONSULTANT shall be compensated for services performed prior to termination, together with Reimbursable Expenses then due and all Termination Expenses indicated in the next paragraph.

Termination Expenses are in addition to compensation for the CONSULTANT'S services and include expenses directly attributable to termination for which the CONSULTANT is not otherwise compensated.

The CLIENT'S rights to use the CONSULTANT'S Instruments of Service in the event of a termination of this Agreement are set forth in the Ownership of Instruments of Service clause above. If the CLIENT requests copies of the CONSULTANT'S Instruments of Service, the cost of the preparation of those copies shall be considered as a Termination Expense.

Plan Revisions: If, after any plans or specifications are completed on any portion thereof, and are approved by the CLIENT and other necessary agencies, the CONSULTANT is required to change plans and specifications because of changes made, authorized, or ordered by the CLIENT, then the CONSULTANT shall receive additional compensation for such changes. Fees for these changes will be computed on an hourly basis.

Information Furnished by CLIENT: CLIENT shall be responsible for, and CONSULTANT may rely upon, the accuracy and completeness of all requirements, programs, instructions, reports, data and other information furnished by CLIENT to CONSULTANT pursuant to this Agreement. CONSULTANT may use such requirements, programs, instructions, reports, data, and information in performing or furnishing services under this Agreement.

Information Furnished by Utility Companies: The utility locations shown on the CONSULTANT'S instruments of service are from locates or drawings provided to the CONSULTANT by the utility companies. The CONSULTANT makes no guarantee that the utilities shown on the CONSULTANT'S instruments of service comprise all such utilities in the area, either in service or abandoned. The CONSULTANT further does not warrant that the utilities shown on the instruments of service are in the exact location indicated.

Successors and Assigns: Both parties agree that, upon execution of this agreement, same shall be binding upon their/its successors, assigns, and legal representatives until terminated by the expiration of agreement or termination by written notice, as provided above.

Limitation of Liability: The CLIENT agrees that to the fullest extent permitted by law, the total liability, in the aggregate, of CONSULTANT, CONSULTANT'S officers, directors, partners, employees, agents, and subconsultants, to CLIENT, and anyone claiming by, through, or under CLIENT for any claims, losses, costs, or damages whatsoever arising out of, resulting from or in any way related to this Project or Agreement from any cause or causes, including but not limited to torts, negligence, professional errors or omissions, strict liability, breach of contract, or breach of warranty, shall not exceed the total compensation received by CONSULTANT or \$100,000 whichever is greater.

Waiver of Consequential Damages: Notwithstanding anything in this Agreement to the Contrary, it is agreed that CONSULTANT shall not be liable in any event for any special or consequential damages suffered by the CLIENT arising out of the services hereunder. Special or consequential damages as used herein shall include, but not limited to, loss of capital, loss of product, loss of use of any system, or other property, or any other indirect, special or consequential damage, whether arising in contract, tort (including negligence), warranty or strict liability.

Opinion of Probable Construction Cost: Opinions of probable construction costs and detailed cost estimates prepared by the CONSULTANT represent his/her best judgment as a design professional familiar with the construction industry. It is recognized, however, that the CONSULTANT has no control over the cost of labor, materials or equipment, over the Contractor's methods of determining bid prices or over competitive bidding or market conditions. Accordingly, the CONSULTANT makes no warranty, express or implied, that the bids or the negotiated cost of the work will not vary from the CONSULTANT's opinion of probable construction cost.

Construction Phase Services: (If included under the scope of this Agreement) The CONSULTANT shall provide administration of the Contract between the CLIENT and the Contractor as set forth below and in General Conditions of the Contract for Construction. The CONSULTANT's responsibility to provide Construction Phase Services commences with the award of the Contract for Construction and terminates on the date the CONSULTANT issues the Statement of Final Completion.

The CONSULTANT shall advise and consult with the CLIENT during the Construction Phase Services. The CONSULTANT shall have authority to act on behalf of the CLIENT only to the extent provided in this Agreement or the General Conditions of the Contract for Construction. The CONSULTANT shall not have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work; nor shall the CONSULTANT be responsible for the Contractor's failure to perform the Work in accordance with the requirements of the Contract Documents. The CONSULTANT shall be responsible for the CONSULTANT's negligent acts or omissions, but shall not have control over or charge of, and shall not be responsible for, acts or omissions of the Contractor or of any other persons or entities performing portions of the Work.

The CONSULTANT shall visit the site at intervals appropriate to the stage of construction to become generally familiar with the progress and quality of the portion of the Work completed, and to determine, in general, if the Work observed is being performed in a manner indicating that the Work, when fully completed, will be in substantial compliance with the Contract Documents. However, the CONSULTANT shall not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. On the basis of the site visits, the CONSULTANT shall keep the CLIENT reasonably informed about the progress and quality of the portion of the Work completed, and report to the CLIENT (1) known deviations from the Contract Documents and from the most recent construction schedule submitted by the Contractor, and (2) defects and deficiencies observed in the Work.

Jobsite Safety: That the General Contractor shall be solely responsible for jobsite safety, and that this intent shall be carried out in the CLIENT'S contract with the General Contractor, and that such contract shall indemnify the CONSULTANT. The CONSULTANT, and his agents, shall be named as an additional insured on the General Contractor's policies of general liability insurance.

Construction Staking: That the Fees the CONSULTANT receives for the task of construction staking are not commensurate with the potential risk. CLIENT, therefore, agrees to check or require General Contractor to check the location of all construction stakes placed by the CONSULTANT. CLIENT further agrees to limit liability of CONSULTANT for construction staking services such that the total liability of the CONSULTANT shall not exceed the CONSULTANT'S compensation received for the particular service, or \$5,000.00, whichever is greater.

Hazardous Materials: The CLIENT agrees that the CONSULTANT's scope of services does not include any services related to the presence of any asbestos, fungi, bacteria, mold or hazardous or toxic materials. Should it become known to the CONSULTANT that such materials may be present on or adjacent to the jobsite, the CONSULTANT may, without liability for any damages, suspend performance under this agreement, until CLIENT takes appropriate action to remove or abate said materials. The CLIENT further agrees, notwithstanding any other provision of this Agreement, to the fullest extent permitted by law, to indemnify and hold harmless the CONSULTANT, its officers, partners, employees and subconsultants (collectively, CONSULTANT) from and against any and all claims, suits, demands, liabilities, losses, damages or costs, including reasonable attorneys' fees and defense costs arising out of or in any way connected with the detection, presence, handling, removal, abatement, or disposal of any asbestos, fungi, bacteria, mold, hazardous or toxic substances, or products or materials that exist on, about or adjacent to the Project site, whether liability arises under breach of contract or warranty, tort, including negligence, strict liability or statutory liability or any other cause of action, except for the sole negligence or willful misconduct of the CONSULTANT.

Mediation: Any claims or disputes under this agreement shall be submitted to non-binding mediation.

**BALANCE SHEET
CALENDAR 11/2024, FISCAL 5/2025**

ACCOUNT NUMBER	ACCOUNT TITLE	PTD BAL.	YTD BAL.
001-000-1110	CASH - GENERAL	51,571.92-	1,045,956.13
002-000-1110	CASH - AQUATIC CENTER	3,189.56-	506.94-
003-430-1110	CASH/CHECKING -PARK CAPITAL		7,000.00
004-450-1110	CASH - CEMETERY CAPITAL FUND		6,554.00
005-000-1110	CASH - ARPA	35,643.34-	275,536.76
110-000-1110	CASH - ROAD USE TAX	25,523.91	272,011.26
112-000-1110	CASH - EMPLOYEE BENEFITS	11,331.17-	1,307,049.89
119-000-1110	CASH - EMERGENCY FUND		528.10
121-000-1110	CASH - LOST	47,263.77	1,341,724.44
125-000-1110	CASH/CHECKING - TIF	55,352.94-	109,006.19
131-000-1110	CASH - LIBRARY FURNISHING		6,956.45
173-000-1110	FEMA CASH/CHECKING		3,628.14
177-110-1110	CASH - ASSET FORFEITURE POLICE		12,215.41
200-000-1110	CASH - DEBT SERVICE	88,236.21-	37,491.35
307-000-1110	CASH/CHECKING		4,596.75-
309-000-1110	CASH/CHECKING		43,691.78
311-000-1110	CASH/CHECKING - CDBG	850,831.48	854,580.21
312-000-1110	CASH - DOWNTOWN REVITALIZATION	1,498.00-	66,149.00
316-000-1110	CASH - 2024 BO BOND	27,726.75-	1,668,010.09
500-000-1110	PERPETUAL CARE CASH		18,284.47
	CASH TOTAL	649,069.27	7,071,269.98
001-000-1111	CASH-AMPHITHEATER	1,180.50-	34,715.70-
125-000-1111	LMI SET ASIDE	1,653.65	22,714.21
	CASH TOTAL	473.15	12,001.49-
001-000-1112	CASH - LIBRARY DONATIONS	1,580.38	9,255.75
131-000-1112	LIBRARY DONATIONS		2,460.00-
	CASH TOTAL	1,580.38	6,795.75
307-000-1115	CASH - GSB SAVINGS/NOW		4,679.96
	CASH TOTAL	.00	4,679.96
001-000-1120	PETTY CASH - GENERAL		170.00
	PETTY CASH TOTAL	.00	170.00
001-000-1122	CASH - AMBULANCE		82,140.14
	AMBULANCE CASH TOTAL	.00	82,140.14

BALANCE SHEET
CALENDAR 11/2024, FISCAL 5/2025

ACCOUNT NUMBER	ACCOUNT TITLE	PTD BAL.	YTD BAL.
001-000-1123	CASH - DISC GOLF		19,975.00
	DISC GOLF CASH TOTAL	.00	19,975.00
001-000-1124	CASH - LODGING TAX	2,149.16	20,220.35
	LODGING TAX CASH TOTAL	2,149.16	20,220.35
309-000-1130	RESERVES-2019 GO INVESTMT		50,160.00
	RESERVES TOTAL	.00	50,160.00
131-000-1160	INVESTMENT - LIBRARY		6,350.00
	INVESTMENTS TOTAL	.00	6,350.00
121-000-1190	INVESTMENT - CD		418,384.70
500-450-1190	PERPETUAL CARE - INVESTMENT		23,363.59
510-420-1190	INVESTMENTS - AMPHITHEATER		197,103.47
	INVESTMENTS TOTAL	.00	638,851.76
500-450-1195	PERPETUAL CARE - SAVINGS		55,160.42
	CASH TOTAL	.00	55,160.42
	TOTAL CASH	653,271.96	7,943,771.87

**TREASURER'S REPORT
CALENDAR 11/2024, FISCAL 5/2025**

ACCOUNT TITLE	LAST REPORT ON HAND	RECEIVED	DISBURSED	CHANGE IN LIABILITY	BALANCE
001 GENERAL	1,192,024.55	336,389.72	385,412.60	.00	1,143,001.67
002 AQUATIC CENTER	2,682.62	.00	3,189.56	.00	506.94-
003 PARK CAPITAL FUND	7,000.00	.00	.00	.00	7,000.00
004 CEMETERY CAPITAL FUND	6,554.00	.00	.00	.00	6,554.00
005 ARPA	311,180.10	.00	35,643.34	.00	275,536.76
110 ROAD USE TAX	246,487.35	60,634.53	35,110.62	.00	272,011.26
111 I-JOBS	.00	.00	.00	.00	.00
112 EMPLOYEE BENEFITS	1,318,381.06	74,644.22	85,975.39	.00	1,307,049.89
119 EMERGENCY	528.10	.00	.00	.00	528.10
121 LOST-SPECIAL REVENUE	1,712,845.37	48,942.35	1,678.58	.00	1,760,109.14
125 TAX INCREMENT FINANCIN	185,419.69	6,025.53	59,724.82	.00	131,720.40
126 LMI	.00	.00	.00	.00	.00
131 LIBRARY FURNISHING	10,846.45	.00	.00	.00	10,846.45
160 REVOLVING LOAN	.00	.00	.00	.00	.00
167 SIDEWALK	.00	.00	.00	.00	.00
173 FEMA	3,628.14	.00	.00	.00	3,628.14
177 ASSET FORFEITURES-POLI	12,215.41	.00	.00	.00	12,215.41
200 DEBT SERVICE	125,727.56	22,057.40	110,293.61	.00	37,491.35
201 DEBT SERV LOST SINK FU	.00	.00	.00	.00	.00
302 COMMUNITY RECREATION C	.00	.00	.00	.00	.00
303 POOL CAPITAL FUND	.00	.00	.00	.00	.00
306 LIBRARY ROOF PROJECT	.00	.00	.00	.00	.00
307 R-R PAVEMENT	83.21	.00	.00	.00	83.21
308 VINE ST PAVEMENT	.00	.00	.00	.00	.00
309 2019 GO CAP PROJECTS	93,851.78	.00	.00	.00	93,851.78
310 MARION HTS SEWER PROJ.	.00	.00	.00	.00	.00
311 CDBG HOUSING GRANT	3,748.73	942,772.33	91,940.85	.00	854,580.21
312 DTR GRANT	67,647.00	.00	1,498.00	.00	66,149.00
315 FEMA FLOOD	.00	.00	.00	.00	.00
316 2024 GO BOND	1,695,736.84	.00	27,726.75	.00	1,668,010.09
350 SQUARE RENOVATION	.00	.00	.00	.00	.00
500 CEMETERY PERPETUAL CAR	96,808.48	.00	.00	.00	96,808.48
510 AMPHITHEATER CAPITAL	197,103.47	.00	.00	.00	197,103.47
610 SEWER	.00	.00	.00	.00	.00
611 FMHA REPLACEMENT	.00	.00	.00	.00	.00
612 FMHA DS	.00	.00	.00	.00	.00
613 FMHA RESERVE	.00	.00	.00	.00	.00
Report Total	7,290,499.91	1,491,466.08	838,194.12	.00	7,943,771.87

REVENUE REPORT
CALENDAR 11/2024, FISCAL 5/2025

PCT OF FISCAL YTD 41.6%

ACCOUNT NUMBER	ACCOUNT TITLE	FISCAL ESTIMATE	PTD BALANCE	YTD BALANCE	PERCENT RECVD	UNCOLLECTED
	GENERAL TOTAL	3,482,517.00	336,389.72	1,637,624.31	47.02	1,844,892.69
	AQUATIC CENTER TOTAL	277,700.00	.00	32,442.63	11.68	245,257.37
	ROAD USE TAX TOTAL	1,548,000.00	60,634.53	366,650.31	23.69	1,181,349.69
	EMPLOYEE BENEFITS TOTAL	994,475.00	74,644.22	468,847.77	47.15	525,627.23
	EMERGENCY TOTAL	.00	.00	528.10	.00	528.10-
	LOST-SPECIAL REVENUE TOTAL	725,000.00	48,942.35	332,534.07	45.87	392,465.93
	TAX INCREMENT FINANCING TOTAL	213,781.00	6,025.53	76,632.13	35.85	137,148.87
	DEBT SERVICE TOTAL	738,600.00	22,057.40	139,331.46	18.86	599,268.54
	R-R PAVEMENT TOTAL	.00	.00	83.21	.00	83.21-
	CDBG HOUSING GRANT TOTAL	0,000,000.00	942,772.33	6,386,004.50	63.86	3,613,995.50
	DTR GRANT TOTAL	320,000.00	.00	102,255.00	31.95	217,745.00
	2024 GO BOND TOTAL	2,193,336.00	.00	2,193,336.41	100.00	.41-
	CEMETERY PERPETUAL CARE TOTAL	1,000.00	.00	15,110.00	1,511.00	14,110.00-
	TOTAL REVENUE BY FUND	=====	=====	=====	=====	=====
		0,494,409.00	1,491,466.08	1,751,379.90	57.34	8,743,029.10
		=====	=====	=====	=====	=====

BUDGET REPORT
CALENDAR 11/2024, FISCAL 5/2025

PCT OF FISCAL YTD 41.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	GENERAL TOTAL	3,754,316.00	385,412.60	1,687,822.55	44.96	2,066,493.45
	AQUATIC CENTER TOTAL	300,635.00	3,189.56	107,481.19	35.75	193,153.81
	ARPA TOTAL	750,000.00	35,643.34	488,992.64	65.20	261,007.36
	ROAD USE TAX TOTAL	1,596,500.00	35,110.62	959,521.06	60.10	636,978.94
	EMPLOYEE BENEFITS TOTAL	1,328,220.00	85,975.39	464,157.80	34.95	864,062.20
	LOST-SPECIAL REVENUE TOTAL	1,173,000.00	1,678.58	434,583.86	37.05	738,416.14
	TAX INCREMENT FINANCING TOTAL	134,051.00	59,724.82	59,724.82	44.55	74,326.18
	DEBT SERVICE TOTAL	737,876.00	110,293.61	111,693.61	15.14	626,182.39
	MARION HTS SEWER PROJ. TOTAL	20,000.00	.00	.00	.00	20,000.00
	CDBG HOUSING GRANT TOTAL	0,001,000.00	91,940.85	5,555,302.03	55.55	4,445,697.97
	DTR GRANT TOTAL	550,000.00	1,498.00	2,523.00	.46	547,477.00
	2024 GO BOND TOTAL	1,890,000.00	27,726.75	525,326.32	27.80	1,364,673.68
	TOTAL EXPENSES BY FUND	=====	=====	=====	=====	=====
		2,235,598.00	838,194.12	0,397,128.88	46.76	1,838,469.12
		=====	=====	=====	=====	=====

BUDGET REPORT
CALENDAR 11/2024, FISCAL 5/2025

PCT OF FISCAL YTD 41.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	POLICE TOTAL	1,474,068.00	100,316.47	579,664.75	39.32	894,403.25
	FIRE TOTAL	1,142,000.00	66,837.99	393,278.16	34.44	748,721.84
	ANIMAL CONTROL TOTAL	4,000.00	.00	.00	.00	4,000.00
	COMMUNICATION CENTER TOTAL	187,000.00	90,699.39	90,699.39	48.50	96,300.61
	PUBLIC SAFETY TOTAL	2,807,068.00	257,853.85	1,063,642.30	37.89	1,743,425.70
	STREET TOTAL	1,801,500.00	66,159.89	1,048,816.52	58.22	752,683.48
	SANITATION TOTAL	7,000.00	573.27	2,785.50	39.79	4,214.50
	PUBLIC WORKS TOTAL	1,808,500.00	66,733.16	1,051,602.02	58.15	756,897.98
	LIBRARY TOTAL	530,967.00	27,056.23	251,774.64	47.42	279,192.36
	AMPITHEATER TOTAL	25,275.00	1,804.04	8,628.63	34.14	16,646.37
	PARK TOTAL	325,312.00	17,968.92	105,615.36	32.47	219,696.64
	RECREATION TOTAL	629,100.00	3,438.52	496,772.19	78.97	132,327.81
	POOL TOTAL	303,255.00	3,189.56	107,481.19	35.44	195,773.81
	CEMETERY TOTAL	177,687.00	14,389.96	72,768.87	40.95	104,918.13
	CULTURE & RECREATION TOTAL	1,991,596.00	67,847.23	1,043,040.88	52.37	948,555.12
	TREE BRD/COMM BEAUTIFICAT TOTA	3,000.00	1,020.00	1,045.00	34.83	1,955.00
	PLANNING AND ZONING TOTAL	25,000.00	269.78	4,715.70	18.86	20,284.30
	COMMUNITY & ECONOMIC DEV TOTA	28,000.00	1,289.78	5,760.70	20.57	22,239.30
	ARPA FUNDS TOTAL	750,000.00	35,643.34	488,992.64	65.20	261,007.36
	ADMINISTRATION TOTAL	431,707.00	32,105.23	165,173.06	38.26	266,533.94
	LEGAL TOTAL	70,000.00	18.50	40,536.50	57.91	29,463.50
	TORT LIABILITY TOTAL	280,000.00	85,519.00	268,981.00	96.06	11,019.00
	GENERAL GOVERNMENT TOTAL	1,531,707.00	153,286.07	963,683.20	62.92	568,023.80
	DEBT SERVICE TOTAL	871,927.00	170,018.43	171,418.43	19.66	700,508.57
	DEBT SERVICE TOTAL	871,927.00	170,018.43	171,418.43	19.66	700,508.57
	POLICE TOTAL	140,000.00	7,036.00	93,630.00	66.88	46,370.00
	CDBG HOUSING PROJECTS TOTAL	0,551,000.00	93,438.85	5,557,825.03	52.68	4,993,174.97
	FIRE TOTAL	100,000.00	.00	.00	.00	100,000.00
	STREET TOTAL	1,572,000.00	20,690.75	431,696.32	27.46	1,140,303.68
	CAPITAL PROJECTS TOTAL	2,363,000.00	121,165.60	6,083,151.35	49.20	6,279,848.65

BUDGET REPORT
CALENDAR 11/2024, FISCAL 5/2025

PCT OF FISCAL YTD 41.6%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
	TRANSFERS TOTAL	833,800.00	.00	14,830.00	1.78	818,970.00
	TRANSFER OUT TOTAL	833,800.00	.00	14,830.00	1.78	818,970.00
	TOTAL OF ALL EXPENSES	2,235,598.00	838,194.12	0,397,128.88	46.76	1,838,469.12



CULTIVATE community *Partnerships*

Located on the Square

AUGUST 6TH, 2025

5PM - 8PM

Register for
a booth!

Tables \$10.00

SCAN HERE TO RESERVE YOUR SPOT !



HOSTED BY GLENWOOD POLICE DEPARTMENT



CULTIVATE community

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NETWORKS

Located on the Square

AUGUST 6TH, 2025

5PM - 8PM

JOIN US FOR
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Demonstrations



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FACEBOOK EVENT PAGE

HOSTED BY GLENWOOD POLICE DEPARTMENT



CULTIVATE community

BUILDING STRONG POLICE & COMMUNITY PARTNERSHIPS



SAVE THE DATE

AUGUST 6, 2025 AT 5PM -8PM

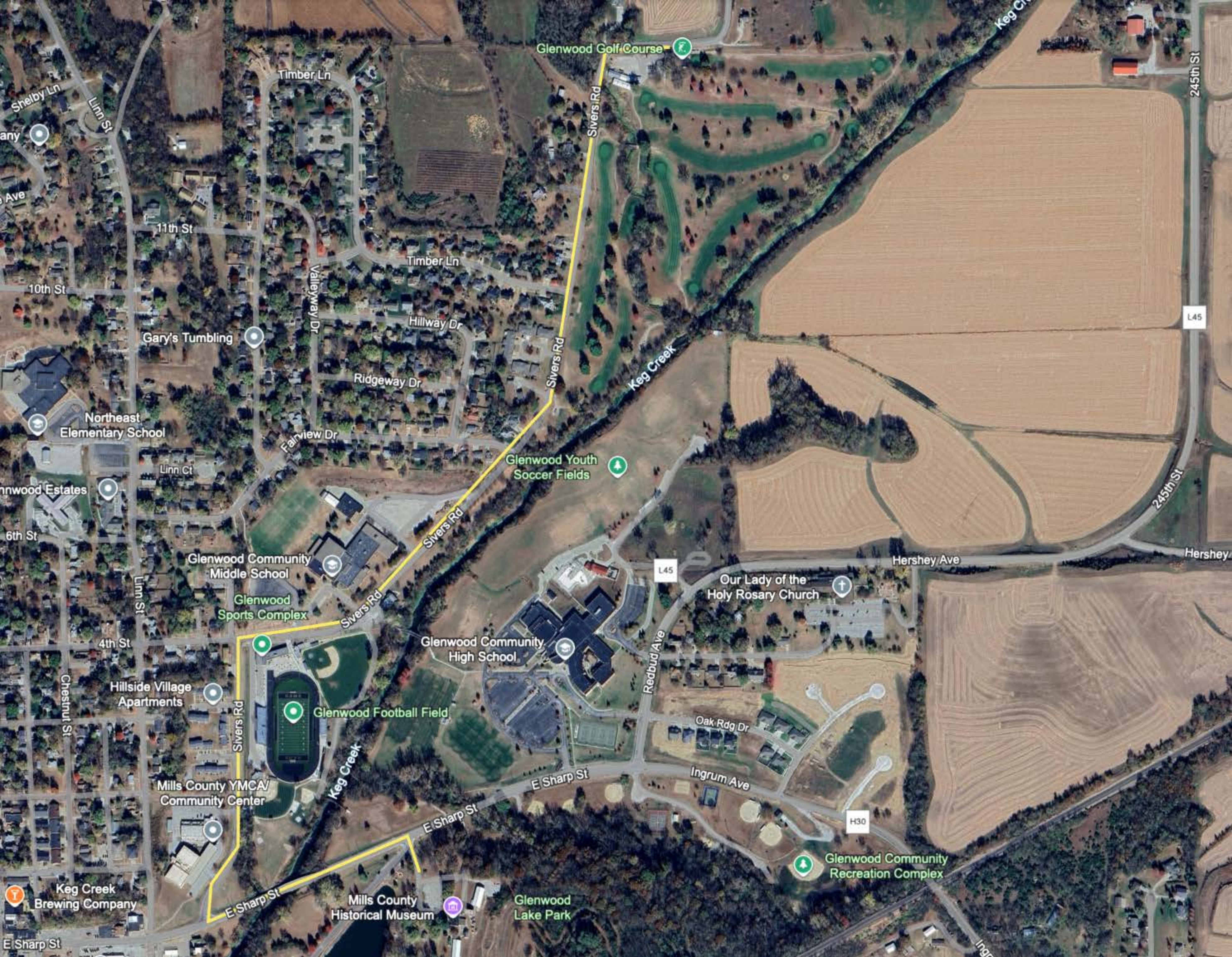
DURING AND AFTER GLENWOOD FARMERS MARKET

ENJOY ENTERTAINMENT, GAMES,
DEMONSTRATIONS AND COMMUNITY!

SPONSORED BY:



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UPDATES LIKE US ON
FACEBOOK!



Glenwood Golf Course

Timber Ln

11th St

10th St

Gary's Tumbling

Timber Ln

Hillway Dr

Ridgeway Dr

Northeast Elementary School

Fairview Dr

Glenwood Youth Soccer Fields

Wood Estates

Glenwood Community Middle School

Glenwood Sports Complex

Our Lady of the Holy Rosary Church

Glenwood Community High School

Hillside Village Apartments

Glenwood Football Field

Mills County YMCA/Community Center

Oak Rdg Dr

Ingrum Ave

Glenwood Community Recreation Complex

Keg Creek Brewing Company

Mills County Historical Museum

Glenwood Lake Park

E Sharp St

E Sharp St

E Sharp St

E Sharp St

Redbud Ave

Hershey Ave

Hershey Ave

L45

245th St

245th St

H30

Keg Creek

Keg Creek

Keg Creek

Sivers Rd

Sivers Rd

Sivers Rd

Sivers Rd

Sivers Rd

Shelby Ln

Linn St

Ave

6th St

4th St

Chestnut St

Ingrum Ave

**AMENDMENT TO
GLENWOOD CITY ADMINISTRATOR EMPLOYMENT AGREEMENT**

THIS AMENDMENT to Glenwood City Administrator Employment Agreement is entered into on this ____ day of January, 2025, by and between the City of Glenwood, Iowa (“the CITY”) and Mitchell W. Kolf (“the EMPLOYEE”).

WHEREAS, the parties hereto entered into a Glenwood City Administrator Employment Agreement dated the ____ day of November, 2024; and

WHEREAS, the parties mutually desire to amend the Agreement by amending provisions to Paragraph No. 15(D) concerning residency requirements of EMPLOYEE.

IT IS THEREFORE AGREED, PROMISED, AND WARRANTED THAT THE GLENWOOD CITY ADMINISTRATOR EMPLOYMENT AGREEMENT PARAGRAPH NO. 15(D) DATED NOVEMBER ____, 2024, IS HEREBY AMENDED TO READ IN FULL AS FOLLOWS:

1. 15(D). The EMPLOYEE will be required to establish primary residency within Mills County, Iowa within six (6) months of EMPLOYEE’S start date, and maintain said primary residency during the duration of EMPLOYEE’S employment with the CITY. This time limit may be extended upon showing of good cause by the EMPLOYEE and approval by the City Council.
2. All the other remaining terms and conditions of the Glenwood City Administrator Employment Agreement entered into on November ____, 2024, shall remain in full force and effect except as specifically modified herein.

EMPLOYER:
CITY OF GLENWOOD, IOWA

EMPLOYEE:

BY:

Angela Winquist, Mayor

Mitchell W. Kolf, Employee

ATTEST:

Dannielle Arnold, City Clerk

Budget Amendment 2 Summary			
General Fund			
Revenues	FY 2025 Budget	Budget Amend 2	Change
Police	114,000	152,058	38,058
Fire/EMS	582,000	540,162	(41,838)
Streets	47,200	26,201	(20,999)
Library	108,500	98,455	(10,045)
Amphitheater	14,500	10,550	(3,950)
Parks	72,000	64,667	(7,333)
Recreation	98,000	12,279	(85,721)
Cemetery	43,300	36,550	(6,750)
Tree Board	1,000	1,000	0
Planning and Zoning	50,000	50,000	0
Administration	1,500	1,410	(90)
Transfers	65,200	46,110	(19,090)
Non Program	2,285,317	2,543,701	258,384
Total Revenue	3,482,517	3,583,143	100,626
Expenditures			
Police	1,007,068	987,018	(20,050)
Fire/EMS	822,300	719,500	(102,800)
911 Comm Center	191,000	184,000	(7,000)
Streets (General)	45,200	23,778	(21,422)
Sanitation	7,000	0	(7,000)
Library	391,667	378,050	(13,617)
Amphitheater	23,550	10,550	(13,000)
Parks	253,437	220,687	(32,750)
Recreation	104,100	70,314	(33,786)
Cemetery	123,087	120,187	(2,900)
Tree Board	3,000	2,000	(1,000)
Planning & Zoning	25,000	15,000	(10,000)
Administration	325,307	309,695	(15,612)
Legal	70,000	50,000	(20,000)
Insurance	280,000	280,000	0
Transfer Out	82,600	82,600	0
Total Expenditures	3,754,316	3,453,379	(300,937)

**CITY OF GLENWOOD
RESOLUTION 3702**

RESOLUTION SETTING PUBLIC HEARING PRIOR TO APPROVING THE
AMENDED BUDGET NO. 2 FOR FISCAL YEAR ENDING JUNE 30, 2025

WHEREAS, the Glenwood City Council desires to set a public hearing prior to approving the Amended Budget No. 2 for Fiscal Year ending June 30, 2025; and

WHEREAS, the budget amendment does not change the property tax levy in the current fiscal year, which is currently \$14.58583 per \$1,000 of taxable property valuations; and

WHEREAS, the budget amendment is needed to align expenditures with revenue re-estimation.

WHEREAS, the City Council finds that setting the public hearing to amend the current budget is in the best interest of the City of Glenwood.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Glenwood, Iowa, that Budget Amendment No. 2 for Fiscal Year ending June 30, 2025, be set for public hearing on February 25, 2025, at 7:00 p.m., during a regular meeting of the City Council.

Passed and approved this 28th day of January, 2025.

Angela Winqvist, Mayor

ATTEST:

Dannielle Arnold, City Clerk

Attach supporting documentation to the back of this form

STATE OF IOWA

GAX

BUDGET FY		General Accounting Expenditure										DOCUMENT NUMBER				
2025		DATE 1/23/2025			ACCTG PERIOD (mm/yy) 1/23/2025							52				
VENDOR CODE 2132981					AGENCY NAME											
VENDOR NAME AND ADDRESS City of Glenwood 5 North Vine Street Glenwood, Iowa 51534					BILL TO ADDRESS (ORDERING AGENCY) Iowa Economic Development Authority 1963 Bell Avenue, Suite 200 Des Moines, Iowa 50315				SHIP TO ADDRESS							
TERMS		FOB		ORDER APPROVED BY					GOODS RECEIVED/SERVICES PERFORMED							
									DATE INITIALS							
QUANTITY				VENDOR'S INVOICE NUMBER												
ORDERED	RECEIVED	UNIT OF MEASURE							UNIT PRICE	TOTAL PRICE						
				Request for Payment under 2019 CDBG-DR Contract Number: 19-DRH-018 Arbor Hills Report Number: 52												
									DOCUMENT TOTAL		\$ 105,000.00					
CLAIMANT'S CERTIFICATION						AGENCY CERTIFICATION										
I CERTIFY THAT THE ITEMS FOR WHICH PAYMENT IS CLAIMED WERE FURNISHED FOR STATE BUSINESS UNDER THE AUTHORITY OF THE LAW AND THAT THE CHARGES ARE REASONABLE, PROPER, AND CORRECT, AND NO PART OF THIS CLAIM HAS BEEN PAID.						I CERTIFY THAT THE ABOVE EXPENSE WERE INCURRED AND THE AMOUNTS ARE CORRECT AND SHOULD BE PAID FROM THE FUNDS APPROPRIATED BY:										
DATE		TITLE				CODE OR CHAPTER SECTION(S)										
CLAIMANT'S SIGNATURE						AUTHORIZED SIGNATURE										
THE FOLLOWING FIELDS ARE FOR STATE ACCOUNTING USE ONLY																
DOC TYPE (GAX) GAX	DOC NUMBER 52		DOC DATE	ACCTG PRD	BUDGET FY 25	ACTION NEW/MOD	PO SHIP INSTR	GAX TYPE	INT IND	INT SELLER FUND	INT SELLER AGCY					
VENDOR CODE 3052881		ADDR OVERRIDE	F/A INDICATOR	EFT IND	TEXT -po's only (Y/N)		TEXT (po's only)									
REF DOC TYPE	REF DOC NUMBER		REF DOC LINE	COM LN	VEND INVOICE #	COMMODITY CODE		GS CONTRACT								
LINE	FUND	AGCY	ORG	SUB ORG	ACTV	FUNC	OBJT	SUB OBJT	JOB NUMBER	REP CAT	QUANTITY / UNITS	I/D	DESCRIPTION	AMOUNT	I/D	P/F
01	0001	269	5000				4125							\$ 105,000.00		
02																
03																
04																
05																
06																
07																
												DOCUMENT TOTAL		\$ 105,000.00		

GAX

WARRANT #

AUDITED BY

[]

PAID DATE

[]

Attach supporting documentation to the back of this form

STATE OF IOWA

GAX

BUDGET FY		General Accounting Expenditure								DOCUMENT NUMBER						
2024		DATE 12/31/2024		ACCTG PERIOD (mm/yy)						17						
VENDOR CODE 2132981				AGENCY NAME												
VENDOR NAME AND ADDRESS City of Glenwood 5 North Vine Street Glenwood, Iowa 51534				BILL TO ADDRESS (ORDERING AGENCY) Iowa Economic Development Authority 1963 Bell Avenue, Suite 200 Des Moines, Iowa 50315				SHIP TO ADDRESS								
TERMS		FOB		ORDER APPROVED BY				GOODS RECEIVED/SERVICES PERFORMED				DATE		INITIALS		
QUANTITY				VENDOR'S INVOICE NUMBER												
ORDERED	RECEIVED	UNIT OF MEASURE						UNIT PRICE		TOTAL PRICE						
				Request for Payment under 2019 CDBG-DR Contract Number: 19-DRH-001 712 Lofts						Report Number: 17 \$ 31,440.08						
DOCUMENT TOTAL									\$ 31,440.08							
CLAIMANT'S CERTIFICATION								AGENCY CERTIFICATION								
I CERTIFY THAT THE ITEMS FOR WHICH PAYMENT IS CLAIMED WERE FURNISHED FOR STATE BUSINESS UNDER THE AUTHORITY OF THE LAW AND THAT THE CHARGES ARE REASONABLE, PROPER, AND CORRECT, AND NO PART OF THIS CLAIM HAS BEEN PAID.								I CERTIFY THAT THE ABOVE EXPENSE WERE INCURRED AND THE AMOUNTS ARE CORRECT AND SHOULD BE PAID FROM THE FUNDS APPROPRIATED BY:								
DATE		TITLE						CODE OR CHAPTER SECTION(S)								
CLAIMANT'S SIGNATURE								AUTHORIZED SIGNATURE								
THE FOLLOWING FIELDS ARE FOR STATE ACCOUNTING USE ONLY																
DOC TYPE (GAX) GAX		DOC NUMBER 17		DOC DATE		ACCTG PRD	BUDGET FY 24	ACTION NEW/MOD	PO SHIP INSTR	GAX TYPE	INT IND	INT SELLER FUND	INT SELLER AGCY			
VENDOR CODE 3052881		ADDR OVERRIDE	F/A INDICATOR	EFT IND	TEXT -po's only (Y/N) Y			TEXT (po's only)								
REF DOC TYPE		REF DOC NUMBER		REF DOC LINE		COM LN	VEND INVOICE #		COMMODITY CODE		GS CONTRACT					
LINE	FUND	AGCY	ORG	SUB ORG	ACTV	FUNC	OBJT	SUB OBJT	JOB NUMBER	REP CAT	QUANTITY / UNITS	I/D	DESCRIPTION	AMOUNT	I/D	P/F
01	0001	269	5000				4125							\$ 31,440.08		
02																
03																
04																
05																
06																
07																

DOCUMENT TOTAL \$ **31,440.08**

GAX

WARRANT #

AUDITED BY

PAID DATE

Attach supporting documentation to the back of this form

STATE OF IOWA

GAX

BUDGET FY		General Accounting Expenditure								DOCUMENT NUMBER						
2023		DATE 12/31/2024		ACCTG PERIOD (mm/yy)						18						
VENDOR CODE 2132981				AGENCY NAME												
VENDOR NAME AND ADDRESS City of Glenwood 5 North Vine Street Glenwood, Iowa 51534				BILL TO ADDRESS (ORDERING AGENCY) Iowa Economic Development Authority 1963 Bell Avenue, Suite 200 Des Moines, Iowa 50315				SHIP TO ADDRESS								
TERMS		FOB		ORDER APPROVED BY				GOODS RECEIVED/SERVICES PERFORMED				DATE INITIALS				
QUANTITY				VENDOR'S INVOICE NUMBER												
ORDERED	RECEIVED	UNIT OF MEASURE										UNIT PRICE		TOTAL PRICE		
				Request for Payment under 2019 CDBG-DR Contract Number: 19-DRH-001 712 Lofts Report Number: 18										\$ 6,904.00		
DOCUMENT TOTAL										\$ 6,904.00						
CLAIMANT'S CERTIFICATION								AGENCY CERTIFICATION								
I CERTIFY THAT THE ITEMS FOR WHICH PAYMENT IS CLAIMED WERE FURNISHED FOR STATE BUSINESS UNDER THE AUTHORITY OF THE LAW AND THAT THE CHARGES ARE REASONABLE, PROPER, AND CORRECT, AND NO PART OF THIS CLAIM HAS BEEN PAID.								I CERTIFY THAT THE ABOVE EXPENSE WERE INCURRED AND THE AMOUNTS ARE CORRECT AND SHOULD BE PAID FROM THE FUNDS APPROPRIATED BY:								
DATE		TITLE		CODE OR CHAPTER SECTION(S)												
CLAIMANT'S SIGNATURE								AUTHORIZED SIGNATURE								
THE FOLLOWING FIELDS ARE FOR STATE ACCOUNTING USE ONLY																
DOC TYPE (GAX) GAX		DOC NUMBER 18		DOC DATE		ACCTG PRD	BUDGET FY 23	ACTION NEW/MOD	PO SHIP INSTR	GAX TYPE	INT IND	INT SELLER FUND	INT SELLER AGCY			
VENDOR CODE 3052881		ADDR OVERRIDE	F/A INDICATOR	EFT IND	TEXT -po's only (Y/N) Y				TEXT (po's only)							
REF DOC TYPE		REF DOC NUMBER		REF DOC LINE		COM LN	VEND INVOICE #		COMMODITY CODE		GS CONTRACT					
LINE	FUND	AGCY	ORG	SUB ORG	ACTV	FUNC	OBJT	SUB OBJT	JOB NUMBER	REP CAT	QUANTITY / UNITS	I/D	DESCRIPTION	AMOUNT	I/D	P/F
01	0001	269	5000				4125							\$ 6,904.00		
02																
03																
04																
05																
06																
07																

DOCUMENT TOTAL **\$ 6,904.00**

GAX WARRANT # AUDITED BY PAID DATE _____

Attach supporting documentation to the back of this form

STATE OF IOWA

GAX

BUDGET FY		General Accounting Expenditure								DOCUMENT NUMBER						
2025		DATE 1/22/2025				ACCTG PERIOD (mm/yy)				19						
VENDOR CODE 2132981						AGENCY NAME										
VENDOR NAME AND ADDRESS City of Glenwood 5 North Vine Street Glenwood, Iowa 51534						BILL TO ADDRESS (ORDERING AGENCY) Iowa Economic Development Authority 1963 Bell Avenue, Suite 200 Des Moines, Iowa 50315				SHIP TO ADDRESS						
TERMS		FOB		ORDER APPROVED BY				GOODS RECEIVED/SERVICES PERFORMED								
								DATE INITIALS								
QUANTITY		VENDOR'S INVOICE NUMBER														
ORDERED	RECEIVED	UNIT OF MEASURE						UNIT PRICE		TOTAL PRICE						
				Request for Payment under 2019 CDBG-DR Contract Number: 19-DRH-001 712 Lofts Report Number: 19						\$ 22,354.62						
DOCUMENT TOTAL									\$ 22,354.62							
CLAIMANT'S CERTIFICATION						AGENCY CERTIFICATION										
I CERTIFY THAT THE ITEMS FOR WHICH PAYMENT IS CLAIMED WERE FURNISHED FOR STATE BUSINESS UNDER THE AUTHORITY OF THE LAW AND THAT THE CHARGES ARE REASONABLE, PROPER, AND CORRECT, AND NO PART OF THIS CLAIM HAS BEEN PAID.						I CERTIFY THAT THE ABOVE EXPENSE WERE INCURRED AND THE AMOUNTS ARE CORRECT AND SHOULD BE PAID FROM THE FUNDS APPROPRIATED BY:										
DATE TITLE 						CODE OR CHAPTER SECTION(S)										
CLAIMANT'S SIGNATURE						AUTHORIZED SIGNATURE										
THE FOLLOWING FIELDS ARE FOR STATE ACCOUNTING USE ONLY																
DOC TYPE (GAX) GAX		DOC NUMBER 19		DOC DATE		ACCTG PRD	BUDGET FY 25	ACTION NEW/MOD	PO SHIP INSTR	GAX TYPE	INT IND	INT SELLER FUND	INT SELLER AGCY			
VENDOR CODE 3052881		ADDR OVERRIDE	F/A INDICATOR	EFT IND	TEXT -po's only (Y/N) Y			TEXT (po's only)								
REF DOC TYPE		REF DOC NUMBER		REF DOC LINE		COM LN	VEND INVOICE #		COMMODITY CODE		GS CONTRACT					
LINE	FUND	AGCY	ORG	SUB ORG	ACTV	FUNC	OBJT	SUB OBJT	JOB NUMBER	REP CAT	QUANTITY / UNITS	I/D	DESCRIPTION	AMOUNT	I/D	P/F
01	0001	269	5000				4125							\$ 22,354.62		
02																
03																
04																
05																
06																
07																

DOCUMENT TOTAL \$ **22,354.62**

GAX

WARRANT #

AUDITED BY

PAID DATE

Attach supporting documentation to the back of this form

STATE OF IOWA

GAX

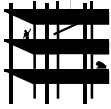
BUDGET FY		General Accounting Expenditure										DOCUMENT NUMBER				
2025		DATE 1/21/2025			ACCTG PERIOD (mm/yy)							10				
VENDOR CODE 2132981					AGENCY NAME											
VENDOR NAME AND ADDRESS City of Glenwood 5 North Vine Street Glenwood, Iowa 51534					BILL TO ADDRESS (ORDERING AGENCY) Iowa Economic Development Authority 1963 Bell Avenue, Suite 200 Des Moines, Iowa 50315				SHIP TO ADDRESS							
TERMS		FOB		ORDER APPROVED BY						GOODS RECEIVED/SERVICES PERFORMED						
										DATE INITIALS						
QUANTITY				VENDOR'S INVOICE NUMBER												
ORDERED	RECEIVED	UNIT OF MEASURE							UNIT PRICE	TOTAL PRICE						
			Request for Payment under 2019 CDBG-DR Contract Number: 19-DRH-008 Report Number: 10							\$ 33,870.98						
									DOCUMENT TOTAL	\$ 33,870.98						
CLAIMANT'S CERTIFICATION					AGENCY CERTIFICATION											
I CERTIFY THAT THE ITEMS FOR WHICH PAYMENT IS CLAIMED WERE FURNISHED FOR STATE BUSINESS UNDER THE AUTHORITY OF THE LAW AND THAT THE CHARGES ARE REASONABLE, PROPER, AND CORRECT, AND NO PART OF THIS CLAIM HAS BEEN PAID.					I CERTIFY THAT THE ABOVE EXPENSE WERE INCURRED AND THE AMOUNTS ARE CORRECT AND SHOULD BE PAID FROM THE FUNDS APPROPRIATED BY:											
DATE TITLE 					CODE OR CHAPTER SECTION(S)											
CLAIMANT'S SIGNATURE					AUTHORIZED SIGNATURE											
THE FOLLOWING FIELDS ARE FOR STATE ACCOUNTING USE ONLY																
DOC TYPE (GAX) GAX	DOC NUMBER 10		DOC DATE	ACCTG PRD	BUDGET FY 25	ACTION NEW/MOD	PO SHIP INSTR	GAX TYPE	INT IND	INT SELLER FUND	INT SELLER AGCY					
VENDOR CODE 3052881		ADDR OVERRIDE	F/A INDICATOR	EFT IND	TEXT -po's only (Y/N)		TEXT (po's only)									
				Y												
REF DOC TYPE	REF DOC NUMBER	REF DOC LINE	COM LN	VEND INVOICE #		COMMODITY CODE		GS CONTRACT								
LINE	FUND	AGCY	ORG	SUB ORG	ACTV	FUNC	OBJT	SUB OBJT	JOB NUMBER	REP CAT	QUANTITY / UNITS	I/D	DESCRIPTION	AMOUNT	I/D	P/F
01	0001	269	5000				4125							\$ 33,870.98		
02																
03																
04																
05																
06																
07																
											DOCUMENT TOTAL	\$ 33,870.98				

GAX

WARRANT # _____

AUDITED BY

PAID DATE _____



Albertson Engineering Inc.

605-343-9606

www.albertsonengineering.com

3202 W. Main, Suite C
Rapid City, SD 57702

315 N. Main Ave., Suite 200
Sioux Falls, SD 57104

201 S. Monroe St., Suite 203A
Winner, SD 57580

5908 Yellowstone Rd.
Cheyenne, WY 82009

December 24, 2024

Duane Wepking
Burbach Aquatics
5974 Highway 80 South
Platteville, WI 53818

RE: Glenwood Aquatic Center
Pool Assessment Report
Glenwood, IA
Albertson Engineering Project #2024-340

Dear Duane,

Albertson Engineering Inc. (AEI) has completed a structural assessment and ground penetrating radar (GPR) scanning at the Glenwood Aquatic Center pool located in Glenwood, IA. This structural assessment was initiated to investigate if voids are present below the pool slab. Please note this assessment was based strictly upon visual evidence and GPR information that was gathered at the time of our site visit. No measurements of material strengths were taken. No structural calculations were performed. This assessment should be not considered an exhaustive technical evaluation. No guarantee of condition or warranty is implied.

POOL BACKGROUND & PREVIOUS INVESTIGATIONS

The Glenwood Aquatic Center was constructed circa 2016 and consists of the pool, the pool house, and the chemical treatment area. The pool has a zero-entry area, a lap pool area, and a diving section. Photograph 1 shows an aerial image of the pool. The original construction documents show the pool slab to be a 6" concrete slab on grade cast over a minimum 6" of clean rock. The perimeter foundation walls are shown to consist of 2'-0" thick cantilever concrete walls with the perimeter gutter system cast integral at the top of the walls. The details show the floor slab cast directly over the wall spread footings with waterstops shown vertically between the footings and slab. A vertical expansion joint with sealant is shown between the slab edge and wall face. At interior slab joints, a continuous strip footing is shown below the joint with two lines of waterstops present. An expansion joint with sealant is shown between the adjoining slab edges. It is important to note that in both existing details, the concrete slab is not tied to the footing with

reinforcing steel. Photographs 2 and 3 were taken from the original construction documents to show the typical joint details.

Information on the pool's performance and previous investigations include:

- The pool area has had several broken and leaking pipes that have been fixed over the last seven years.
- According to Jamey Clark, the Glenwood Public Works Director, during this last summer, the pool lost between 2" and 6" of water each day, depending on the weather and if the kids' water play area was on.
- Burbach Aquatics, Inc. (BAI) with Ricchio, Inc. performed dye testing and found several joint areas that exhibited water loss. Their annotated pool plan is listed in Appendix A.
 - BAI also performed hammer sounding and located select slab areas where the slab sounds different. This annotated pool plan is also listed in Appendix A.
 - Ricchio, Inc. has also performed pipe pressure testing. Select lines at both the pool and chemical treatment area were found to either have slow leaks and could not hold any appreciable water pressure.
- Eagle Engineering Group (EEC), the municipal design firm that serves the city of Glenwood, IA, has taken elevation measurements at select structural and slab locations. EEC will take follow-up elevation measurements when the frost penetration is the greatest at the coldest part of the winter. Two additional rounds of measurements will be taken in the Spring once the frost was thawed and again when the pool is filled with water. The reason for the four sets of measurements is to determine the existent of expansive movement experienced by the pool structure and slab.

STRUCTURAL ASSESSMENT

On November 19 and 20, 2024, Stephen Kilber, PE (SD) of AEI was on site to review the existing conditions and to perform the GPR field scanning. He documented the typical conditions with field notes and photographs.

Field Observations

The pool observations were:

- Throughout the pool area, damaged/distorted sealant was present at both slab expansion joints as well as slab to wall joints. Photographs 4 and 5 show two such locations. In Photograph 4, the orange ribbon was installed by BAI.
 - No unevenness was noted across the slab expansion joints.



- Some cracking was noted in the floor slab throughout the pool areas. The cracks were found to have minimal width (Photographs 6 and 7).

GPR ASSESSMENT

The primary focus of AEI's time on site was to perform GPR scanning to gather information on the subgrade conditions below the existing floor slab. The primary areas scanned by AEI were along the main slab expansion joints and the slab to wall joints where leaking had been detected by BAI's dye testing. Some background information on how GPR works as well as a summary of the results are discussed in the following report subsections.

GPR Background information

AEI's in-house GPR is a Geophysical Survey Systems, Inc. (GSSI) Mini XT scanner. Photograph 8 shows an image of the unit for reference. This scanner has the capacity of emitting ground penetrating radar waves, receiving wave reflections, and showing real time results. The field information can also be saved on the unit and more thoroughly reviewed at a computer workstation with post-processing software.

There are several different factors that can impact how well a GPR unit can scan and detect elements within concrete as well within subgrade materials. These factors include but are not limited to moisture content, type of aggregate present in the concrete and subgrade material, and presence of vapor barriers. GPR scanning requires an understanding of radar waves and how this form of energy travels through materials.

There are two primary physical properties that impact how radar waves (energy) will move through any given material. The first property is the material's electrical conductivity. If the material is dry or has a low moisture content, the radar energy is able to travel further than if the material is wet or has a high moisture content. A higher moisture content results in the wave energy being absorbed into the material before it can travel far.

The other important physical property that impacts radar waves is a material's dielectric constant. The dielectric constant indicates how quickly radar energy will move through a material and is partially impacted by a material's density. Radar energy travels the fastest through air, which has a dielectric constant of 1. Radar energy travels the slowest through water which has a dielectric constant of 81.

If differing materials are in contact and have small differences in dielectric contrast values there will be a minimal (weak) reflection as the radar energy travels between the different materials. Examples of materials with a low dielectric contrast are cast-in-place concrete directly over well



compacted clean rock or gravel. Photograph 9 is an example scan portion taken from the pool scans of the floor slab cast over a section of clean rock. Another example of low dielectric contrast can be found where a concrete slab is cast directly atop of another concrete element such as a spread footing. Photograph 10 shows a scan portion for this condition.

On the other hand, if differing materials are present and have a high dielectric contrast, such as a concrete slab with an adjacent void, there will be a high (strong) reflection as the radar energy travels between the different materials. Photograph 11 shows a scan portion with an apparent void present below the slab. It should be noted that a void area must be a minimum of a 1/4" to possibly be detected by the scanner. Also, the depth or thickness of the void can not be determined from GPR scanning. The radar wave once as it leaves the concrete, travels through the air gap, and then re-enters the subgrade material becomes too distorted to properly convey thickness information on the void space.

GPR Findings

As noted previously, the areas of focus for the field scanning were near joints where leaking was previously detected. Appendix B has annotated floor plans of the GPR results. These annotated plans are 22"x34" sheets and be readily printed at half size (11"x17"). Please note that the pool areas shown with apparent voids below the slabs should not be considered absolute (perfect) findings of all the void areas. As alluded to in the preceding section, there are several factors that can impact how well the GPR unit detects the various subsurface conditions and how well these conditions can be displayed in the scan files. The full extent of voids below the slab could vary significantly from those shown in the annotated plan sheets.

Sheet B.1 shows an overall pool plan with the scanned areas shown in blue. The GPR scans were spaced at 2'-0" on center orientated to scan perpendicular to the existing slab expansion joints or slab to wall joints. This sheet also shows the four main pool sections where the GPR scanning was performed. Each of these four areas is shown enlarged on Sheets B.2 – B.5. Areas of potential voids below the slab are annotated in their approximate locations on the enlarged plans. Select GPR scan images and their approximate locations are also shown on the enlarged plan sheets for reference. The apparent total void areas noted on the enlarged plans is approximate 810 SF.

DISCUSSION AND RECOMMENDATIONS

The apparent void areas shown in Appendix B are a symptom of some cause. At this time, we cannot definitively state that the water loss, whether it be water loss through joints or leaking pipes, caused the void in the subgrade or if movement of the subgrade below the structure caused the water loss. We are of the opinion that water within the subgrade or water within joints can



exaggerate any issue and the goal should be to keep the water out of joints and out of the subgrade below the structure.

Part of this assessment involved reviewing the existing construction documents. The details shown in the attached Photographs 2 and 3 were taken from the existing construction documents. While the details provided in the existing construction documents differ from the approach that AEI would recommend, they do appear to be consistent with what many pool designers use with one exception. AEI is of the opinion that the pool slab should have been tied to the concrete footings with reinforcing steel on the "dry" side of the waterstops. Without a hard connection between the pool slab and the footing, differential vertical movement of the footings and slab could spread the joints between them and potentially damage the waterstops.

After reviewing the data gather and the existing construction joints, AEI is of the opinion that there are several potential causes of the issues observed.

1. Settlement of the footings below the pool wall and below the expansion joints may have caused voids to form which in turn damaged the waterstop material. The settlement may have caused the pipes below the pool to leak or the leaking pipes below the pool may have caused the settlement. At this time, it will be difficult to discern which issue was the root cause of this potential movement. The damaged waterstops along with the damaged sealant joint could potentially be allowing water to leak through the joint.
2. The waterstops may not have been installed correctly or a waterstop material substitute was allowed that is not performing as it was designed. If the waterstops are not performing as designed, water may be getting through the joint and into the subgrade below.

The fix for the issues observed depends on the cause. At this time, AEI cannot be certain as to the exact cause of the issue. As stated earlier, the issue could be caused by subgrade movement and/or by failed waterstops. In order to determine the exact cause, AEI is of the opinion that more investigation be performed.

1. AEI recommends that a geotechnical investigation of the soils below the pool be completed. We would recommend taking a boring at the location where the pool slab is cast over top the deepest footing below the pools exterior wall. By taking it at this location, we can determine if there is a gap that exists between the pools slab and the footing.
2. AEI recommends performing a removal of the pool slab at select locations to review the condition of the waterstops that are located atop the footings.

Several repair options exist, but the final repair recommendation will depend on the findings of the recommended subsequent investigations.



CLOSING

The Glenwood Aquatic Center pool was visually reviewed and scanned with a GPR to determine if voids are present below the pool slab. BAI had previously performed dye testing and located several joints which showed signs of water leaking. The GPR results are shown in the Appendix B annotated plan sheets. It is important to note that several factors can impact the GPR unit's ability to detect and record subsurface conditions.

The apparent void areas noted by the GPR are the symptom of a larger issue. The original slab joint details show that no hard connection exists between the underlying footings and the slab. Differential movement between the footings and the slab could have resulted in damaged waterstops. AEI recommends further investigation be performed to better understand the subgrade conditions as well as the condition and type of the existing waterstops. Water supply and drain lines are also to be investigated to determine if they are contributing to the noted waterloss.

Due to the limited scope of this review, we cannot attest to the existing structure's compliance with current building codes or accepted construction techniques. This report is prepared for your sole benefit. We appreciate the opportunity to be of service to you. If we can be of further assistance, please let us know.

Sincerely,

Albertson Engineering Inc.

Written by:



Stephen Kilber, PE (SD)
Associate Principal
stephen@albertsonengineering.com

Reviewed by:



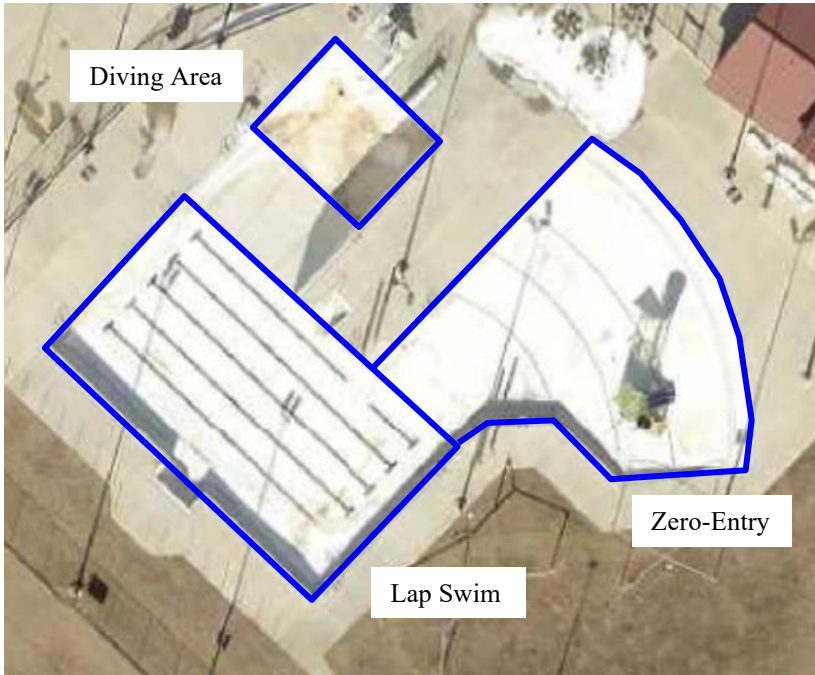
Blake Tideman, PE (IA)
Principal
blake@albertsonengineering.com

Photographs 1 – 11

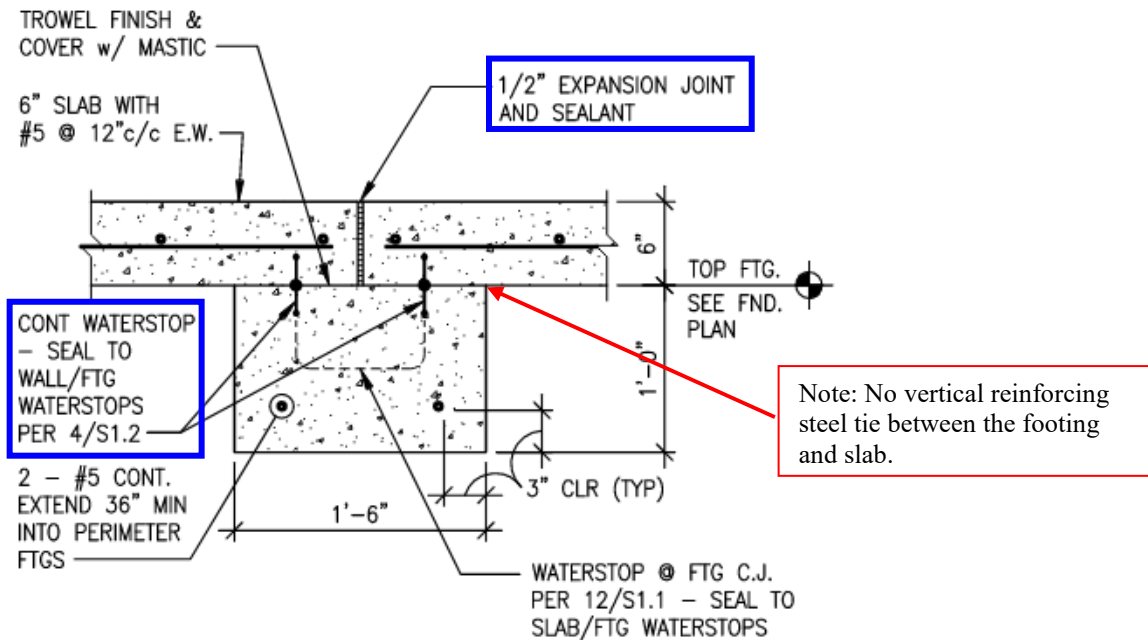
Appendix A – Burbach Aquatics and Ricchio Annotated Plan sheets

Appendix B – GPR Annotated Plan Sheets

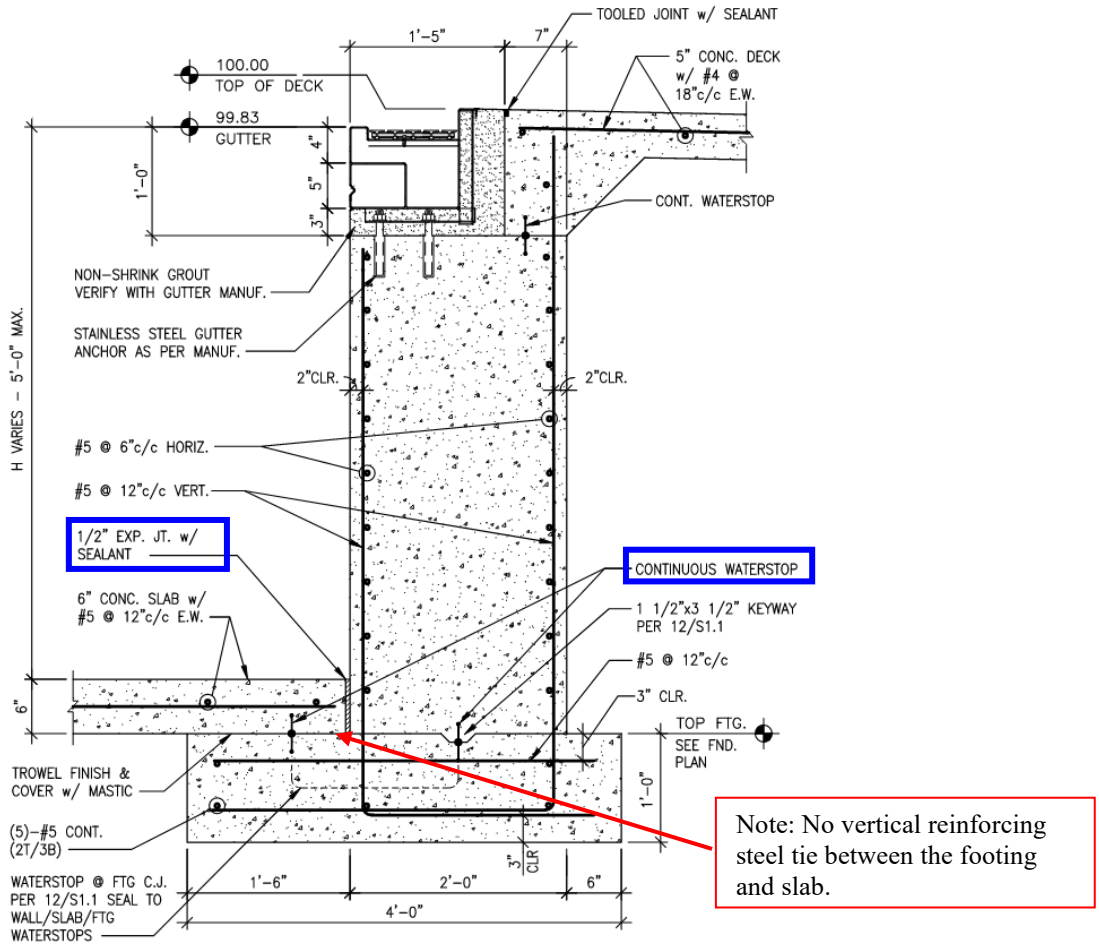




Photograph 1: Aerial image of the pool with the different areas labeled for reference.



Photograph 2: Detail 5/S1.1 taken from the construction documents. This shows the typical floor slab expansion joint detail with the expansion joint sealant and waterstops labeled for clarity.



Photograph 3: Detail 2/S1.1 taken from the construction documents. This shows the typical floor slab to perimeter wall detail with the expansion joint sealant and waterstops labeled for clarity.

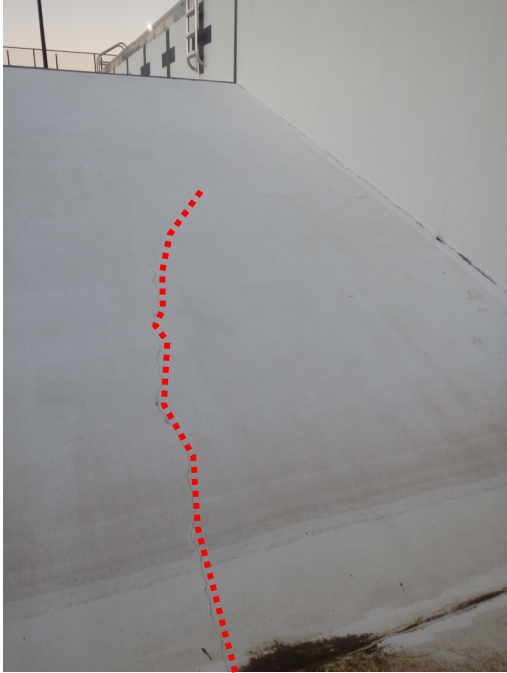


Photograph 4: Slab expansion joint in the zero-entry area that is distorted and found to leak by BAI.



Photograph 5: Distorted slab to wall joint present along the ramp down to the diving area.





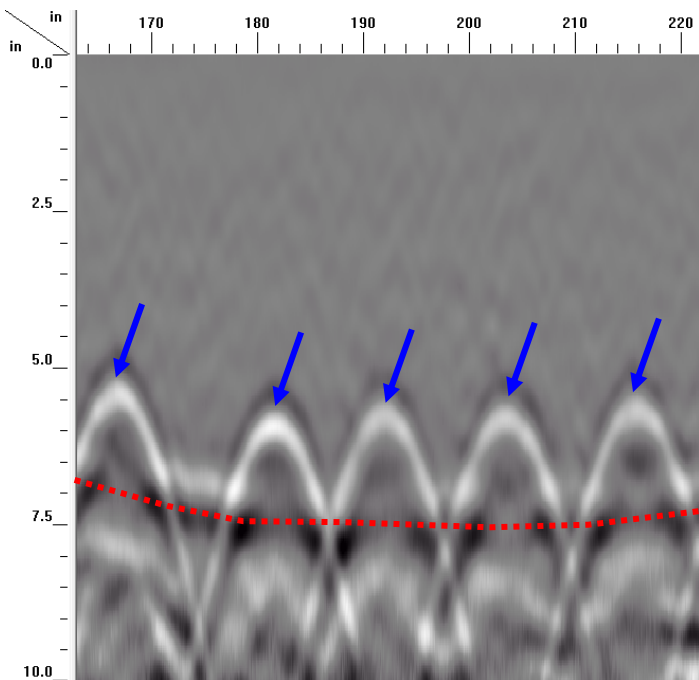
Photograph 6: Crack in the ramp slab on grade (red dashed line).



Photograph 7: Crack (red dashed line) in the floor slab of the zero-entry area near the kids' water feature.

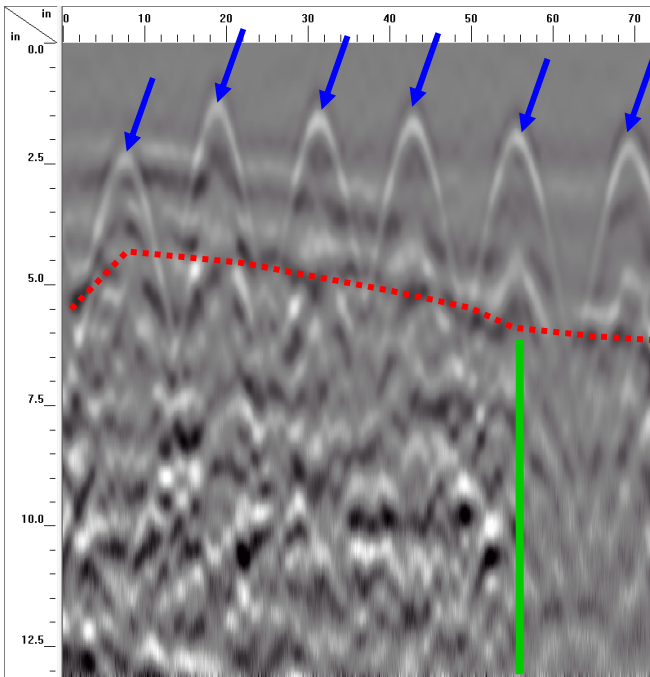


Photograph 8: AEI's in-house GSSI Mini XT scanner used during the field review.

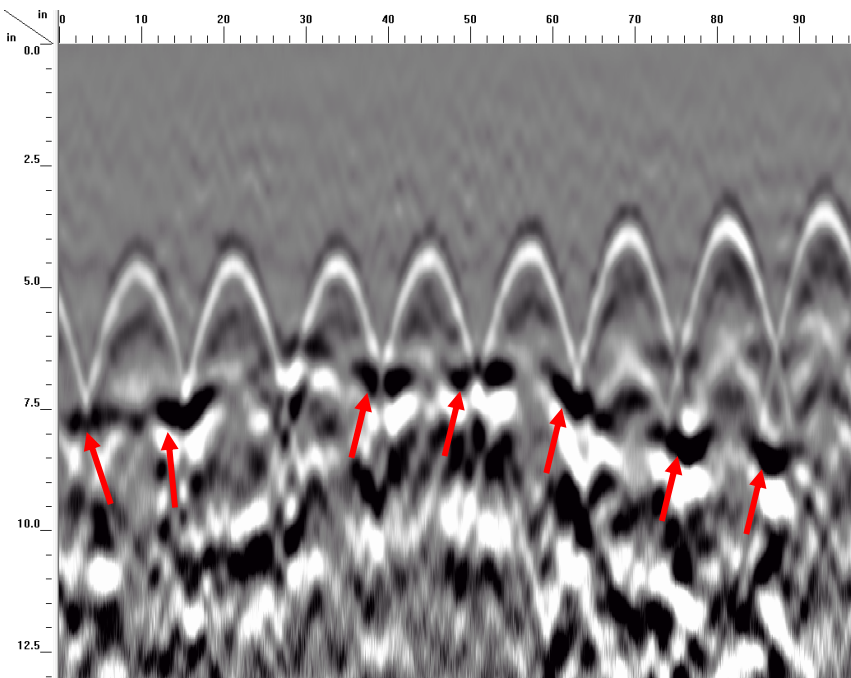


Photograph 9: GPR scan with the approximate boundary between the slab and subgrade rock shown as a dashed red line. The blue arrows denote rebar present w/in the concrete slab.



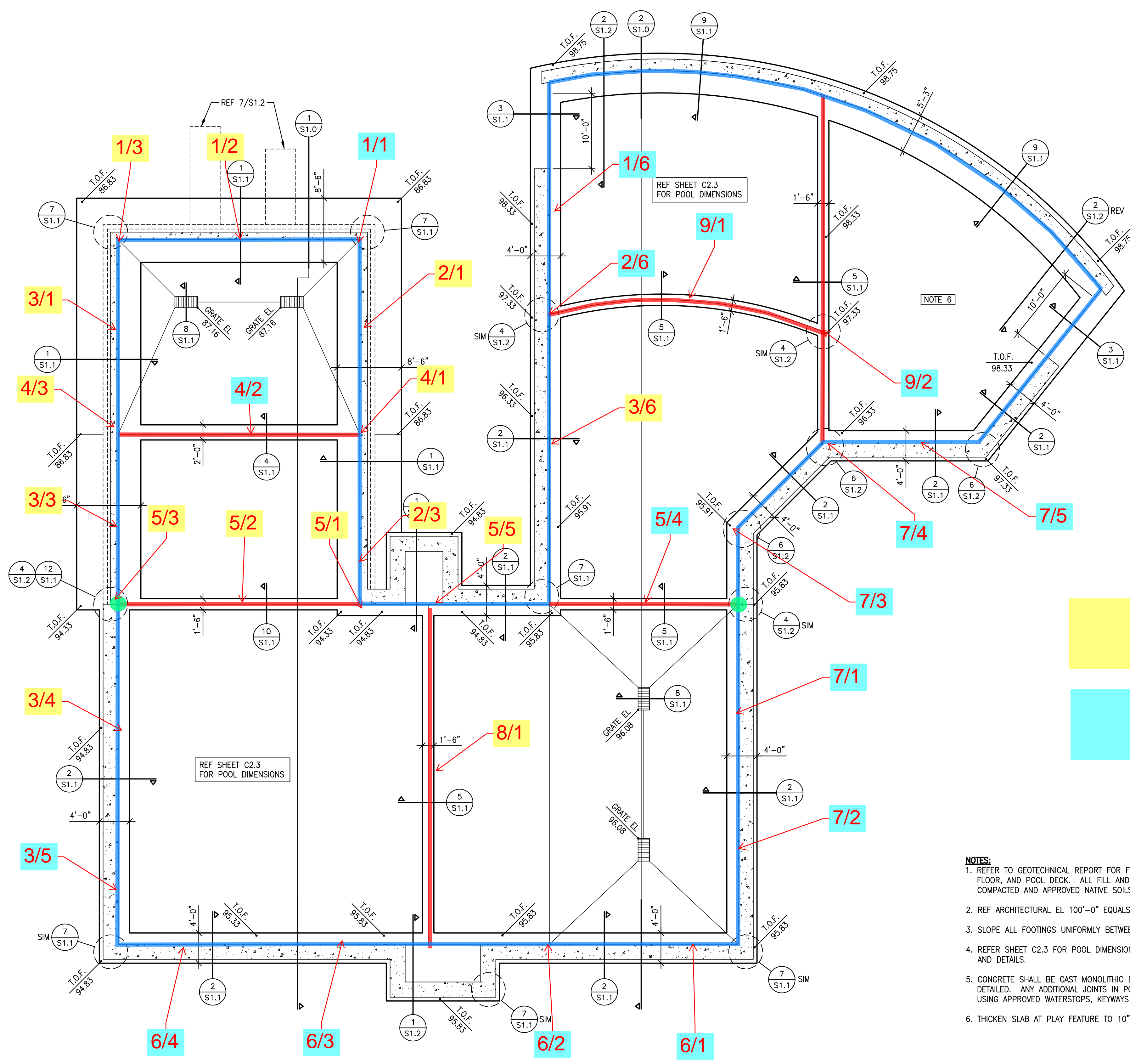


Photograph 10: GPR scan with the approximate slab bottom shown as a dashed red line. The blue arrows denote rebar present w/in the concrete slab. The green line denotes the apparent boundary between the subgrade and the footing.



Photograph 11: GPR scan with apparent void areas (red arrows) present below the cast-in-place slab.

APPENDIX A
Burbach Aquatics and Eagle Engineering Results Sheets



| = Floor to Floor Joint
| = Wall to Floor Joint
● = Wall to Wall Joint

= Dye Lost
 = No Dye Lost

- NOTES:**
- REFER TO GEOTECHNICAL REPORT FOR FILL AND BACKFILL BELOW THE POOL WALLS, FLOOR, AND POOL DECK. ALL FILL AND BACKFILL SHALL BE PLACED AND COMPACTED ON COMPACTED AND APPROVED NATIVE SOILS OR FILL.
 - REF ARCHITECTURAL EL 100'-0" EQUALS CIVIL EL 995.00.
 - SLOPE ALL FOOTINGS UNIFORMLY BETWEEN ELEVATION REFERENCE POINTS SHOWN.
 - REFER SHEET C2.3 FOR POOL DIMENSIONS. REF SHEET C2.4 FOR UNDERDRAIN LAYOUT AND DETAILS.
 - CONCRETE SHALL BE CAST MONOLITHIC BETWEEN CONSTRUCTION AND EXPANSION JOINTS DETAILED. ANY ADDITIONAL JOINTS IN POOL FOOTINGS OR WALLS SHALL BE CONSTRUCTED USING APPROVED WATERSTOPS, KEYWAYS AND REINFORCING DOWELS PER 12/S1.1.
 - THICKEN SLAB AT PLAY FEATURE TO 10" PER SHEET C1.10.

RECORD DRAWINGS
 THESE RECORD DRAWINGS REPRESENT A COMPILATION OF INFORMATION AND FIELD MEASUREMENTS PROVIDED BY OTHERS. ALL DIMENSIONS AND DETAILS HAVE NOT BEEN VERIFIED BY JEO CONSULTING GROUP, INC.
 CONSTRUCTION COMPLETED: JULY 2016

PROJECT NO.	R131483
DATE	3/26/2015
DRAWN BY	Tos
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FIELD BOOK	MISC. #1
FIELD CREW	TW, HH
SURVEY FILE NO.	SV-131483.dwg
PLAN IN HAND	
INITIALS	GPP
DATE	01/19/2015
70 PERCENT REVIEW	TLH
INITIALS	
DATE	2/16/2015
95 PERCENT REVIEW	TLH
INITIALS	
DATE	3/09/2015
REVISIONS	

File name: L:\14-084-JEO Glenwood Aquatic\14-084s01.dwg Last plotted: 09/25/15 09:48 14-084s

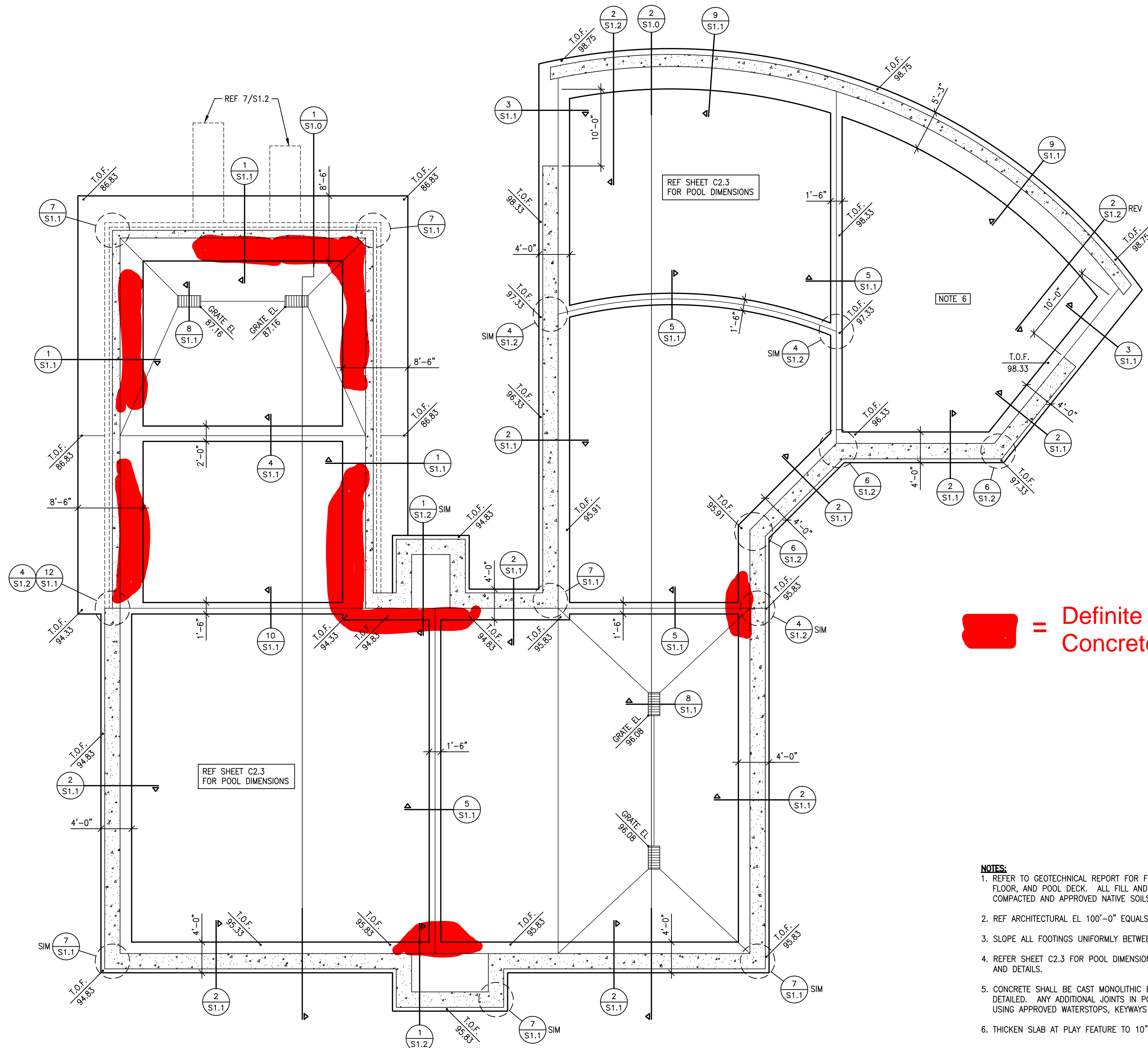
FOUNDATION PLAN
 SCALE : 1/8" = 1'-0"



JEO CONSULTING GROUP INC
 Ph: 402.934.3680
 11717 Burt St, Ste 210
 Omaha, NE 68154

2016
 CHARLES E. LAKIN
 AQUATIC CENTER
 GLENWOOD, IOWA

POOL FOUNDATION PLAN



= Definite Irregularity in Concrete Sounds

NOTES:

1. REFER TO GEOTECHNICAL REPORT FOR FILL AND BACKFILL BELOW THE POOL WALLS, FLOOR, AND POOL DECK. ALL FILL AND BACKFILL SHALL BE PLACED AND COMPACTED ON COMPACTED AND APPROVED NATIVE SOILS OR FILL.
2. REF ARCHITECTURAL EL 100'-0" EQUALS CIVIL EL 995.00.
3. SLOPE ALL FOOTINGS UNIFORMLY BETWEEN ELEVATION REFERENCE POINTS SHOWN.
4. REFER SHEET C2.3 FOR POOL DIMENSIONS. REF SHEET C2.4 FOR UNDERDRAIN LAYOUT AND DETAILS.
5. CONCRETE SHALL BE CAST MONOLITHIC BETWEEN CONSTRUCTION AND EXPANSION JOINTS DETAILED. ANY ADDITIONAL JOINTS IN POOL FOOTINGS OR WALLS SHALL BE CONSTRUCTED USING APPROVED WATERSTOPS, KEYWAYS AND REINFORCING DOWELS PER 12/S1.1.
6. THICKEN SLAB AT PLAY FEATURE TO 10" PER SHEET C1.10.

RECORD DRAWINGS

THESE RECORD DRAWINGS REPRESENT A COMPILATION OF INFORMATION AND FIELD MEASUREMENTS PROVIDED BY OTHERS. ALL DIMENSIONS AND DETAILS HAVE NOT BEEN VERIFIED BY JEO CONSULTING GROUP, INC.

CONSTRUCTION COMPLETED: JULY 2016

FOUNDATION PLAN

SCALE : 1/8" = 1'-0"

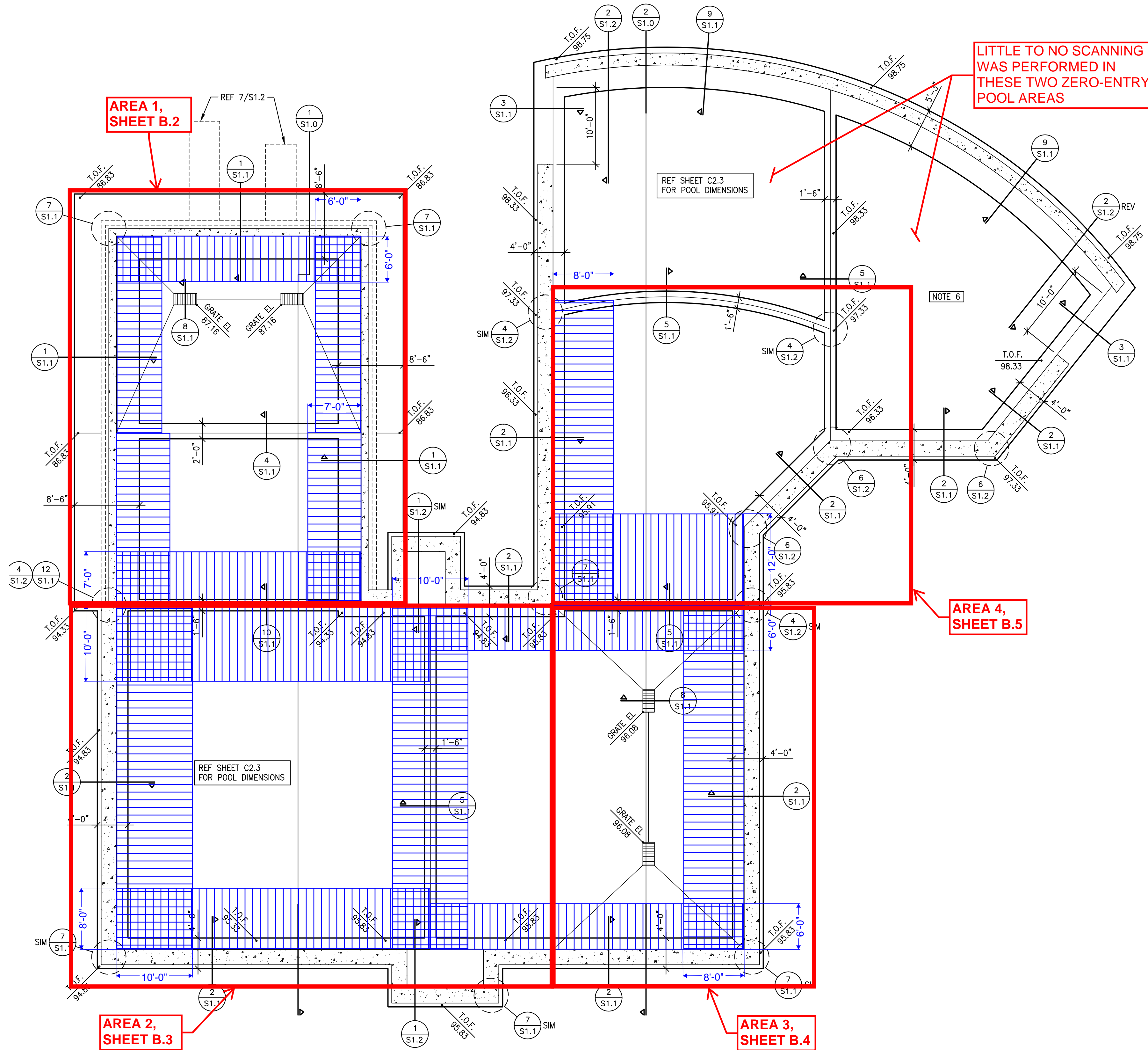


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NIELSEN - BAUMERT ENGINEERING INC.
 9802 NICHOLAS STREET, SUITE 105 Omaha, NE 68114
 (402) 496-4750 FAX (402) 496-1147

S0.1

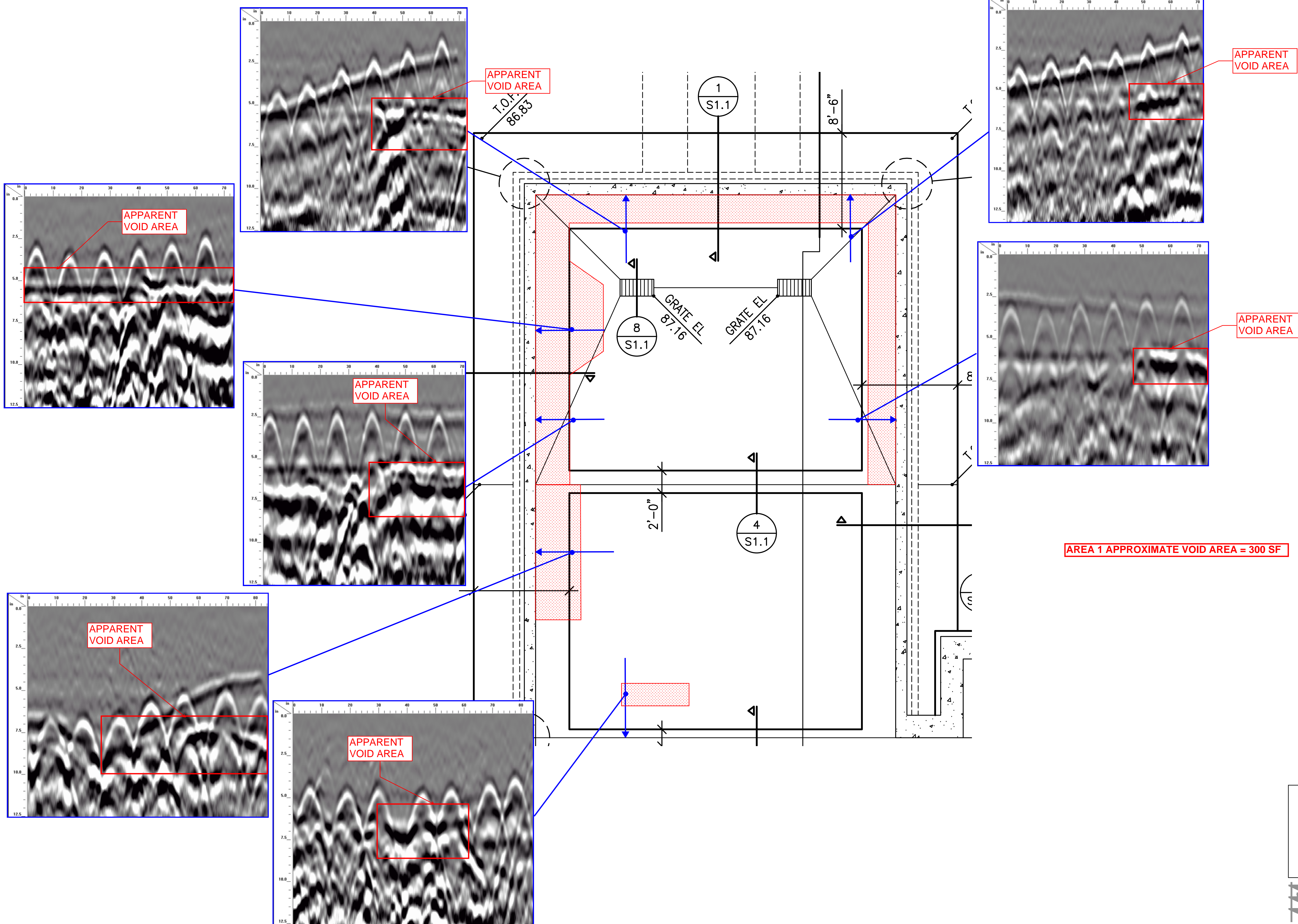
APPENDIX B
GPR Annotated Plan Sheets



GLENWOOD AQUATIC CENTER
ALBERTSON ENGINEERING
Project No: 2024-340
OVERALL POOL PLAN
SCALE: 1/8" = 1'-0"
SHEET B.1

3202 W. MAIN, SUITE C
RAPID CITY, SOUTH DAKOTA 57702
605.343.9606

Albertson Engineering Inc.

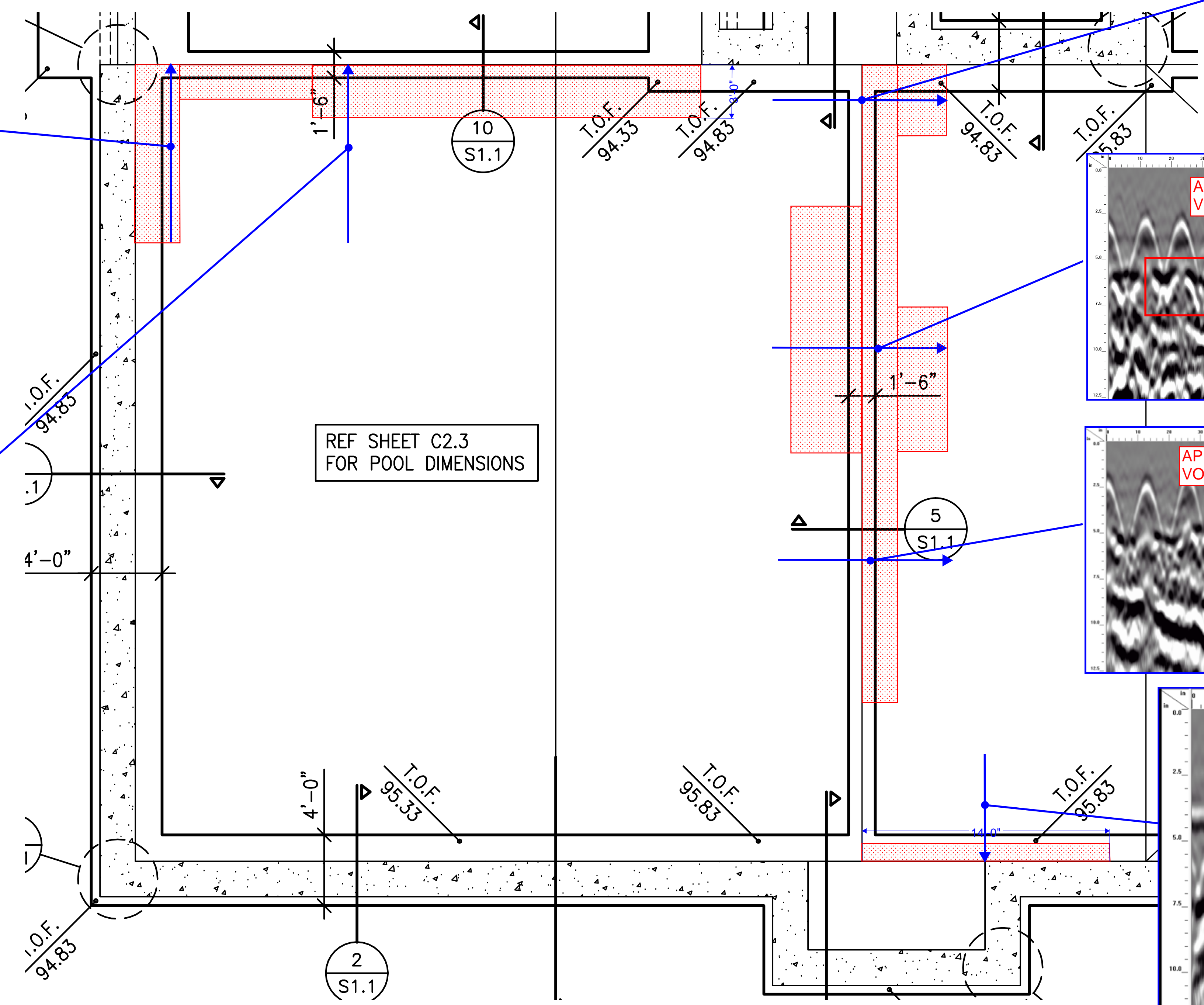
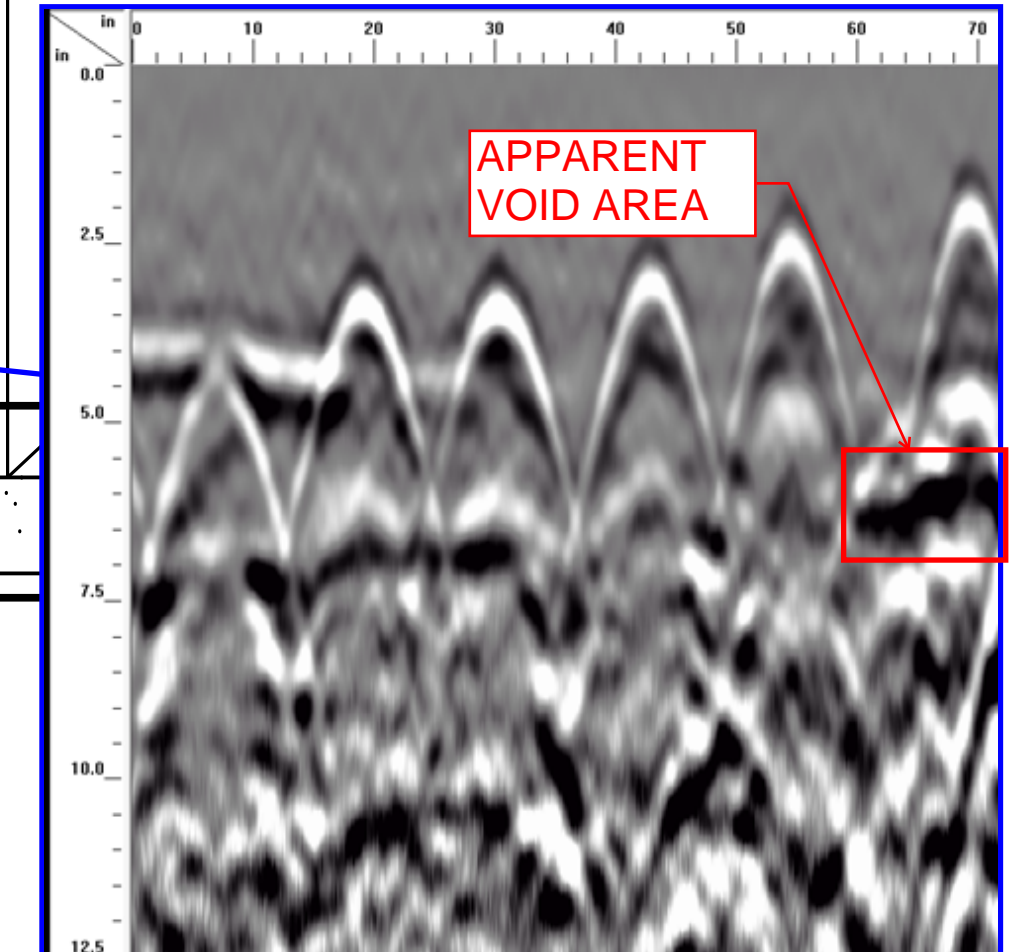
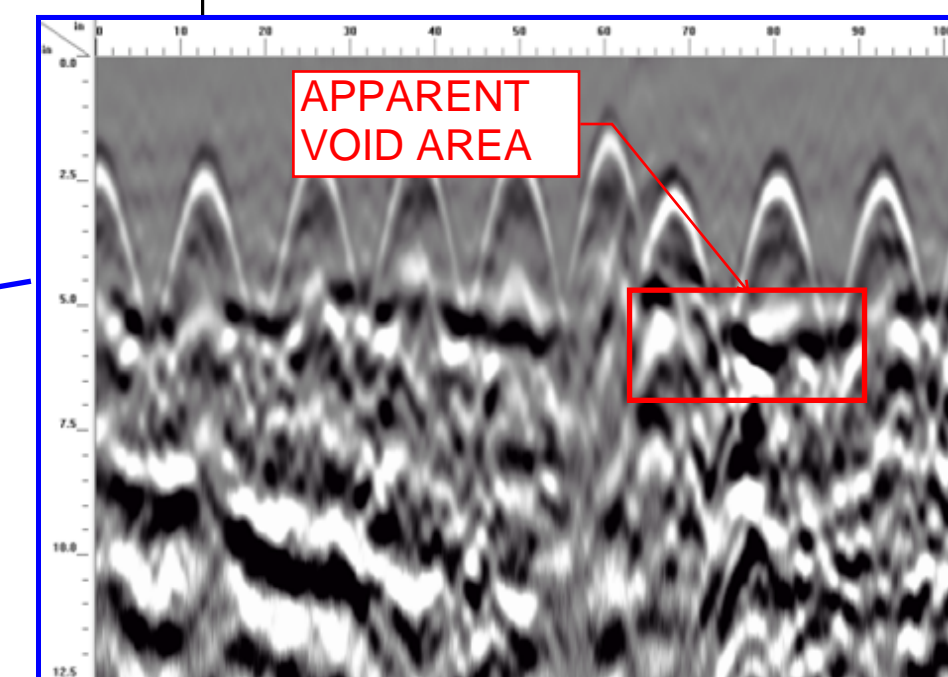
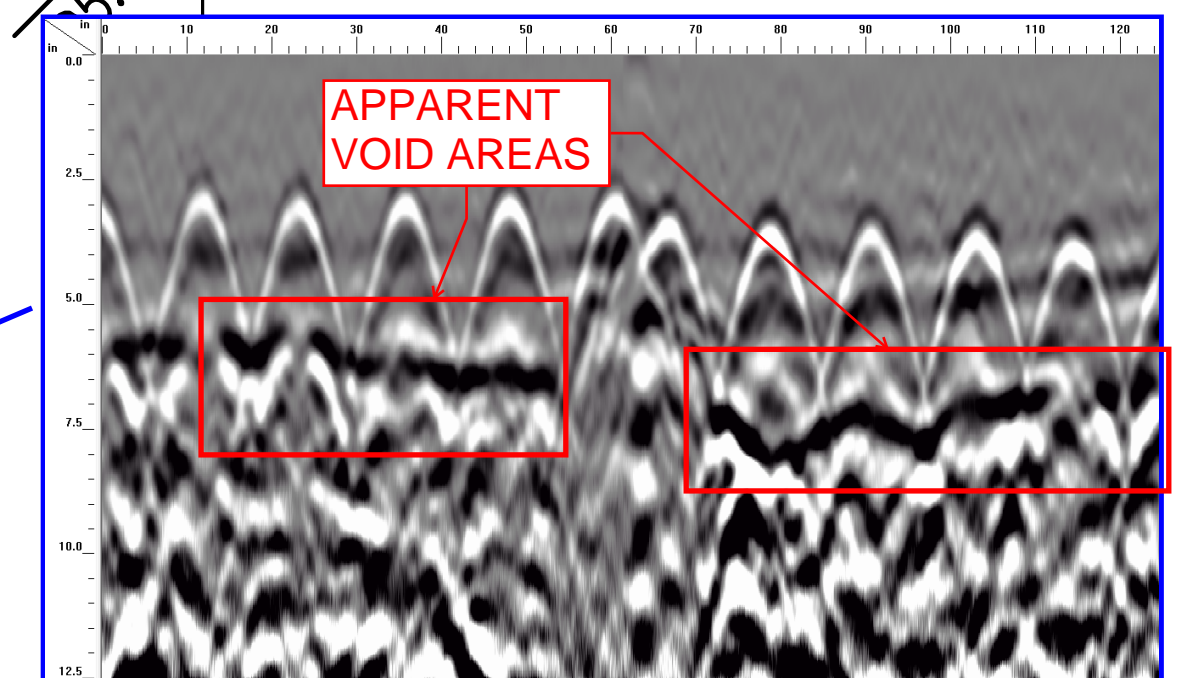
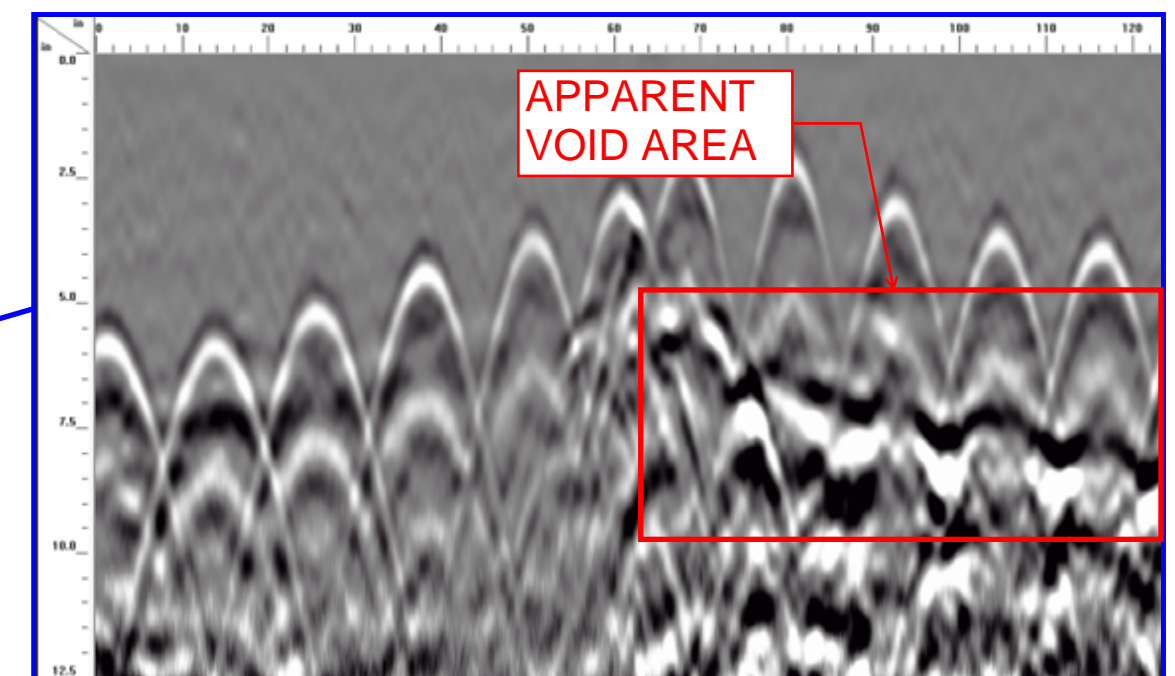
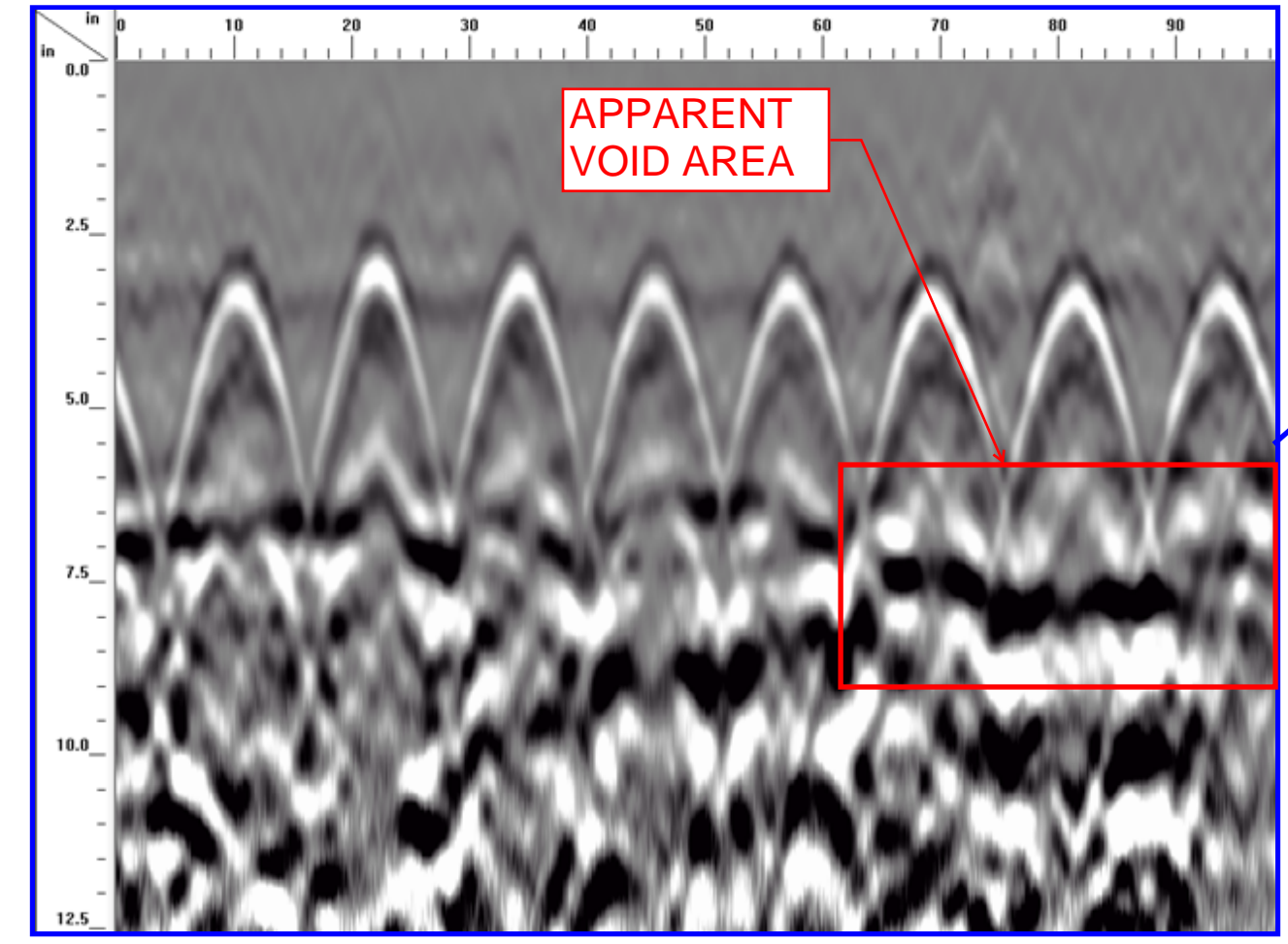
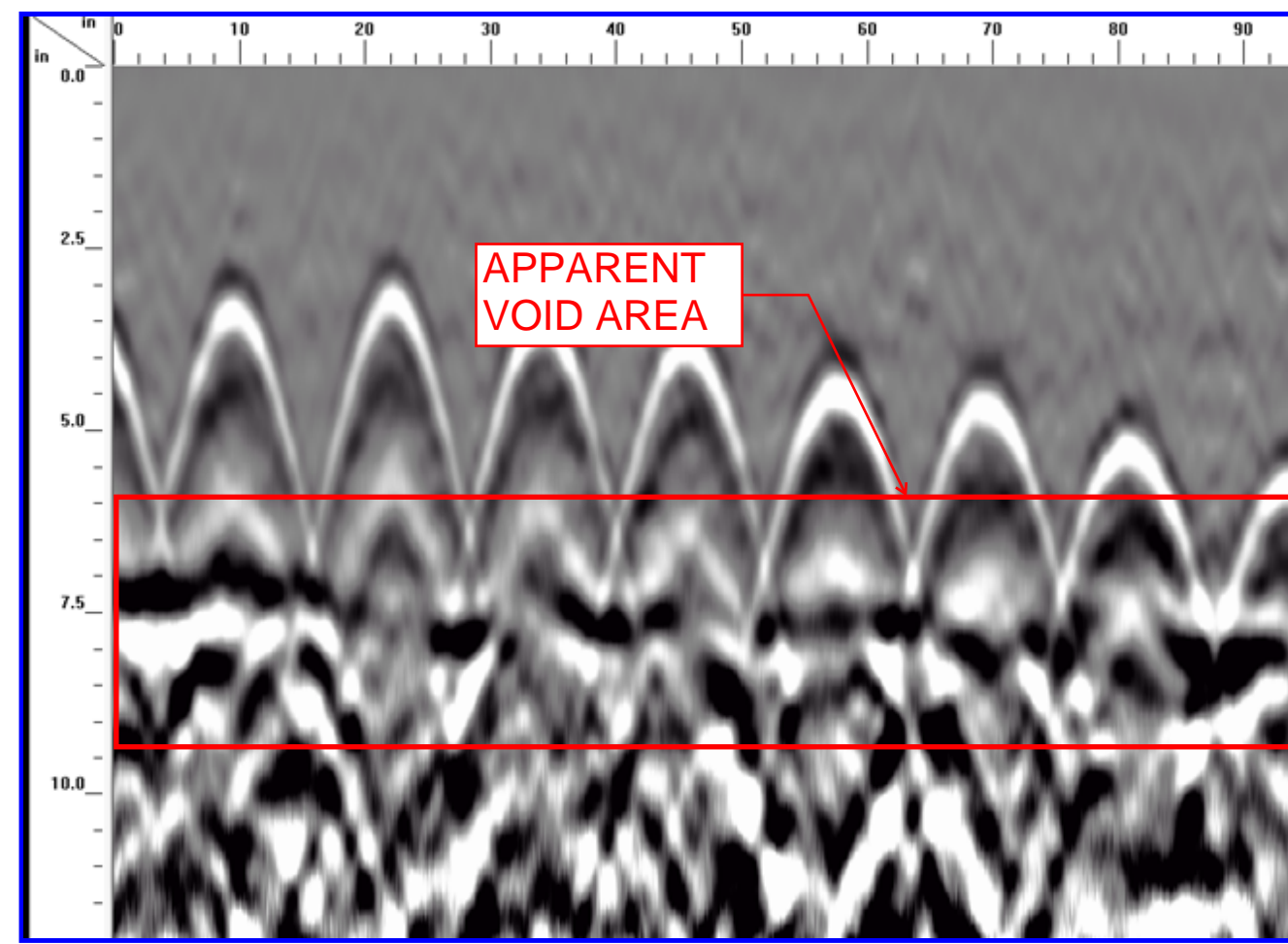


AREA 1 APPROXIMATE VOID AREA = 300 SF

GLENWOOD AQUATIC CENTER
 ALBERTSON ENGINEERING
 PROJECT NO: 2024-340
 AREA 1 ENLARGED PLAN
 SCALE: 1/4" = 1'-0"
 SHEET B.2

3202 W. MAIN, SUITE C
 RAPID CITY, SOUTH DAKOTA 57702
 605.343.9606

Albertson Engineering Inc.

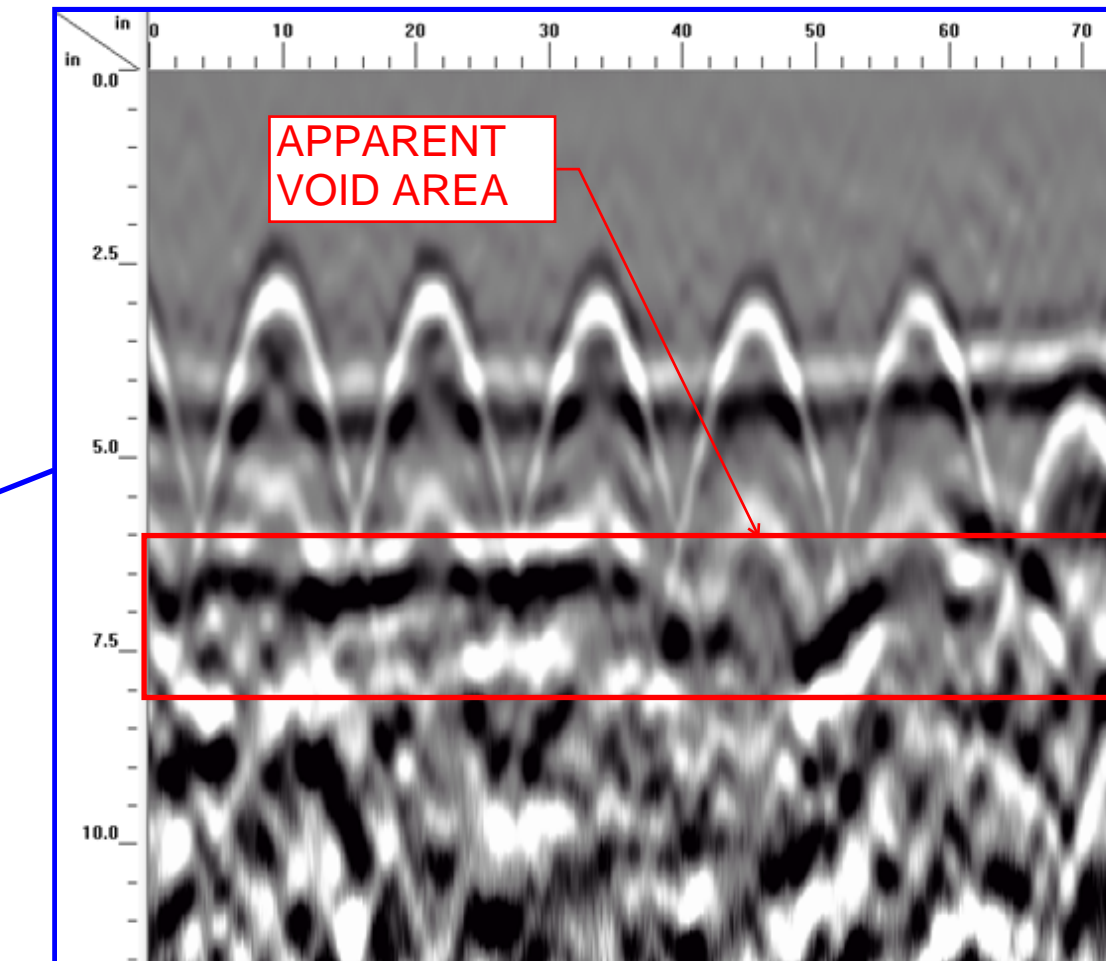
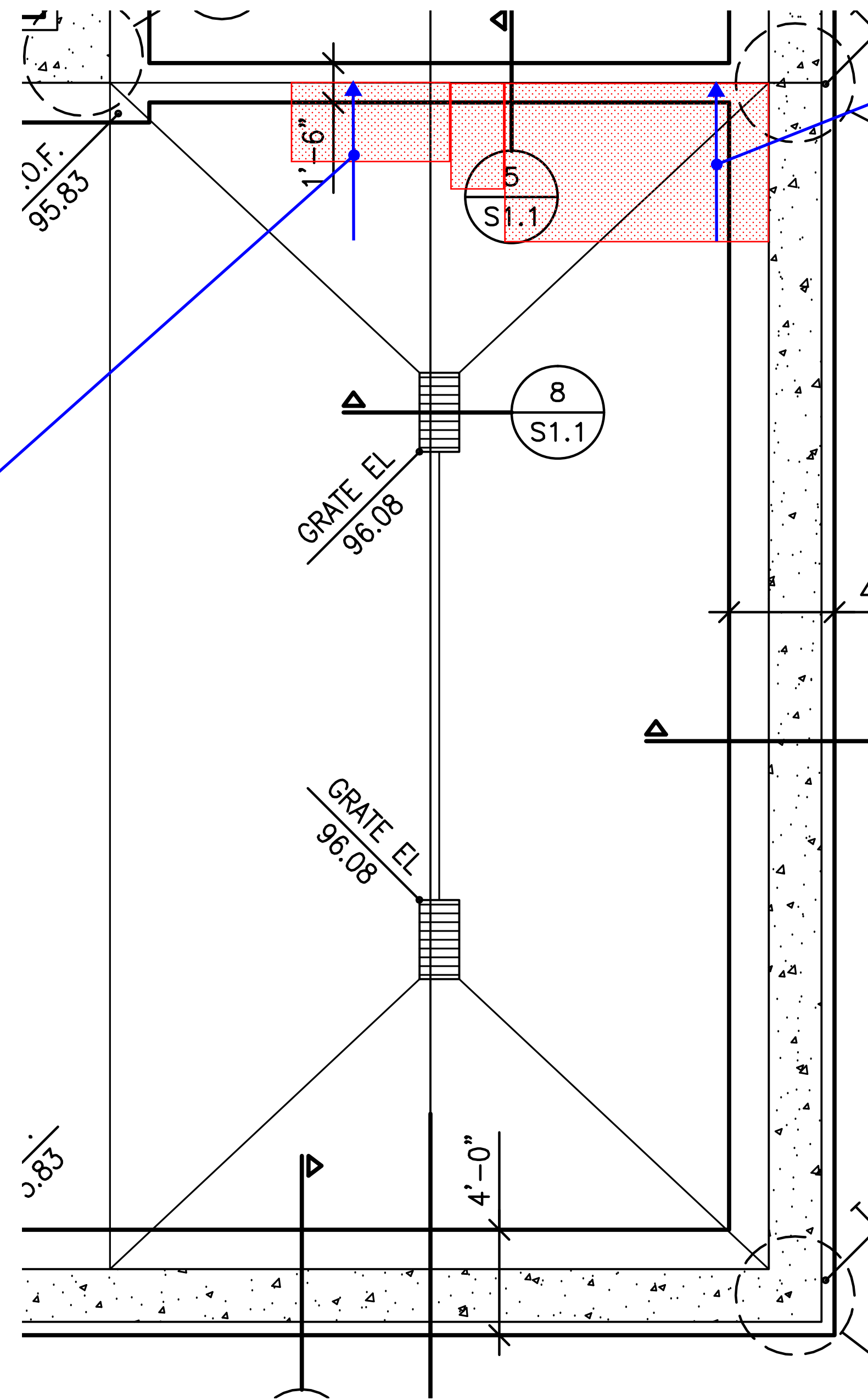
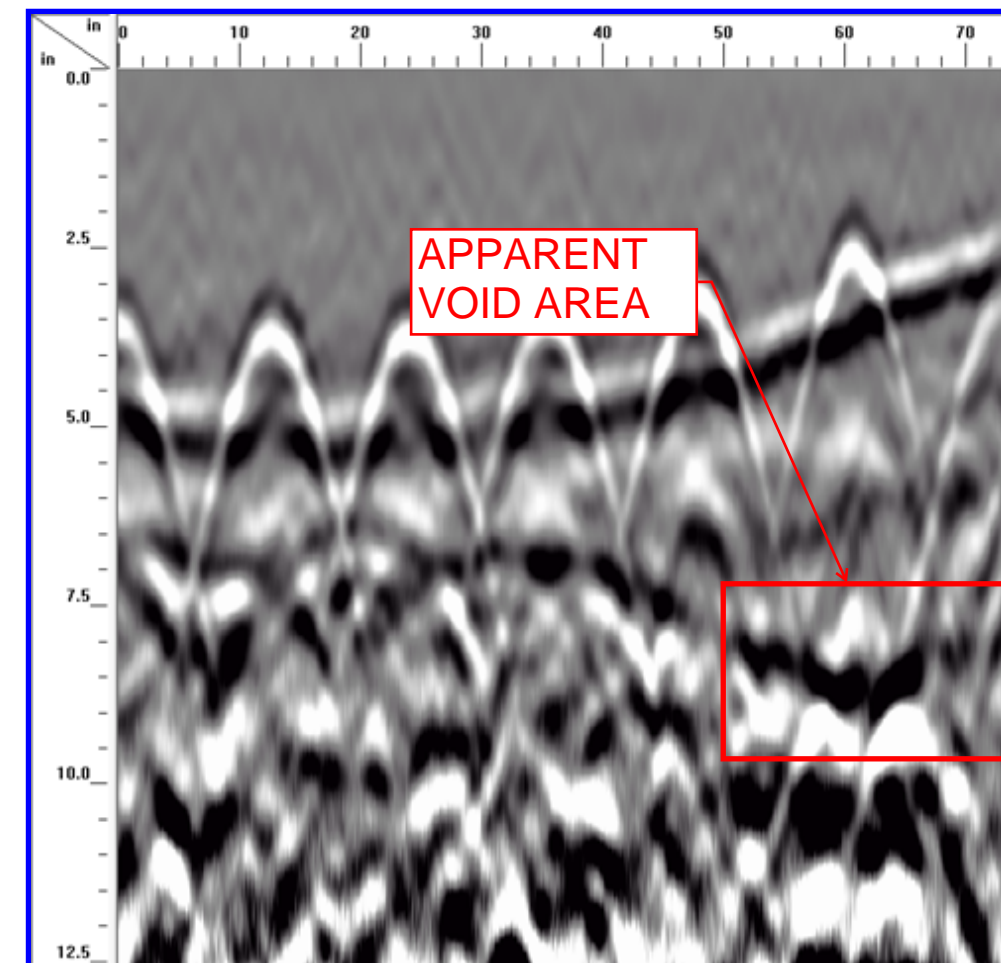


REF SHEET C2.3
FOR POOL DIMENSIONS

AREA 2 APPROXIMATE VOID AREA = 290 SF

GLENWOOD AQUATIC CENTER
ALBERTSON ENGINEERING
PROJECT NO: 2024-340
AREA 2 ENLARGED PLAN
SCALE: 1/4" = 1'-0"
SHEET B.3

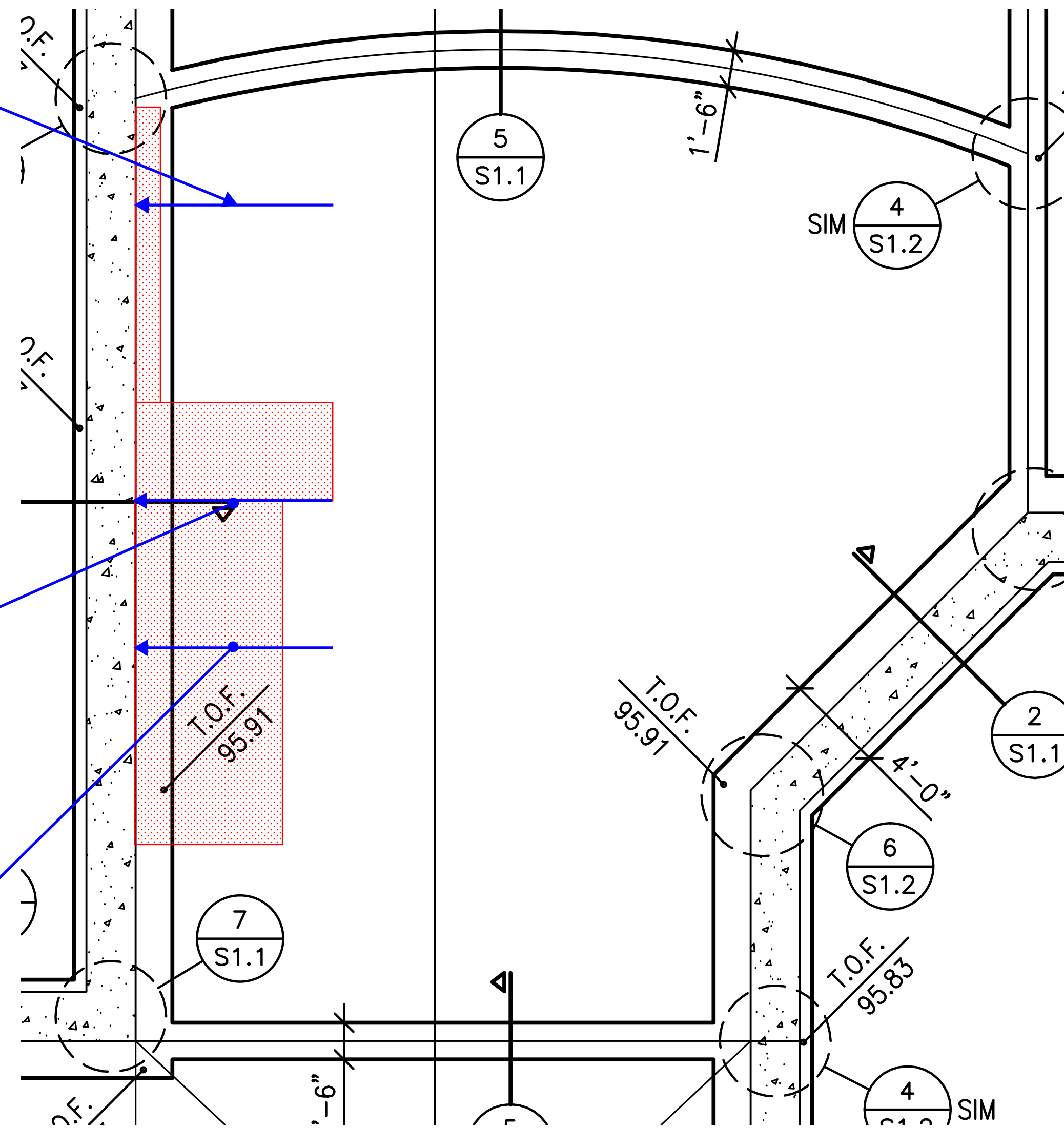
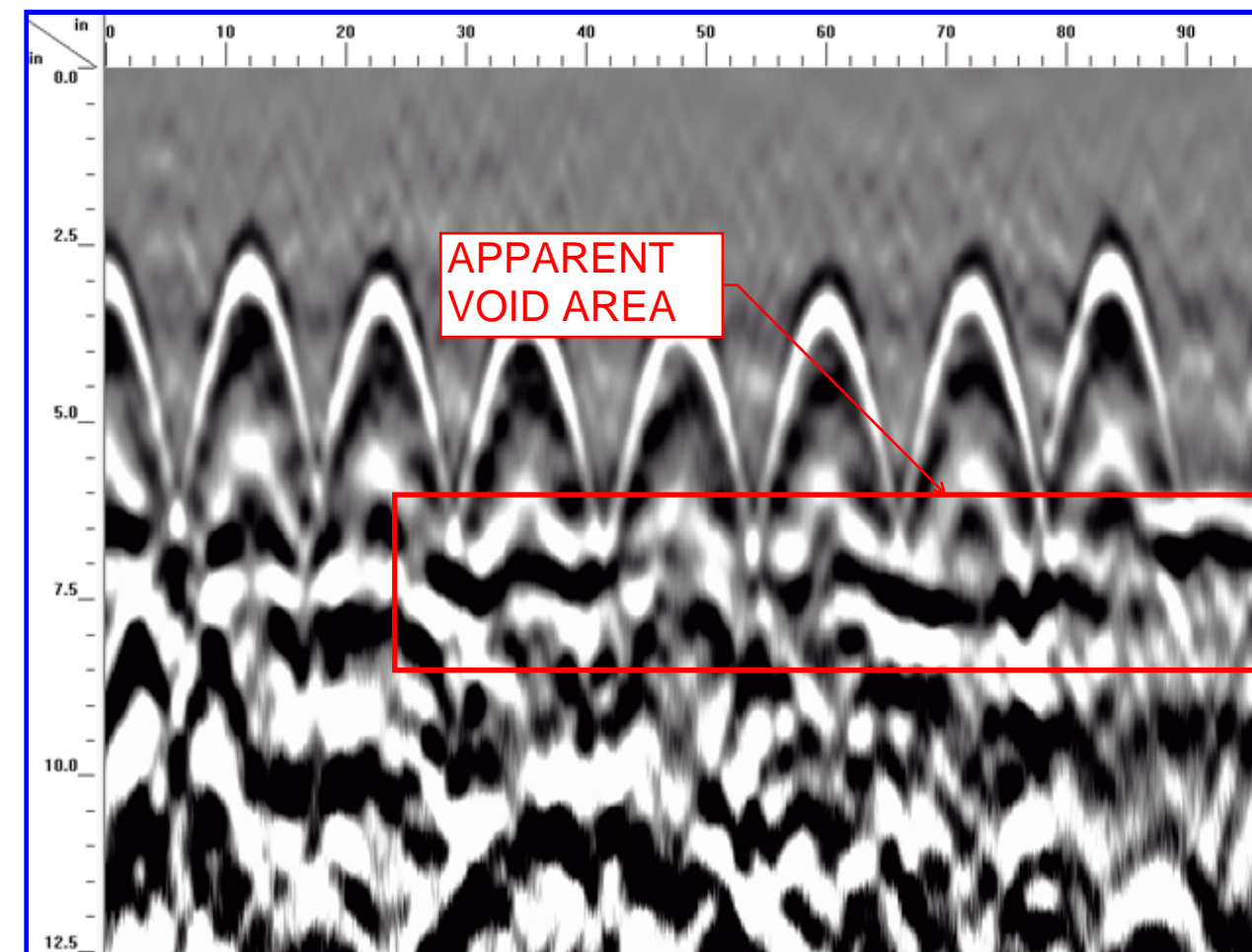
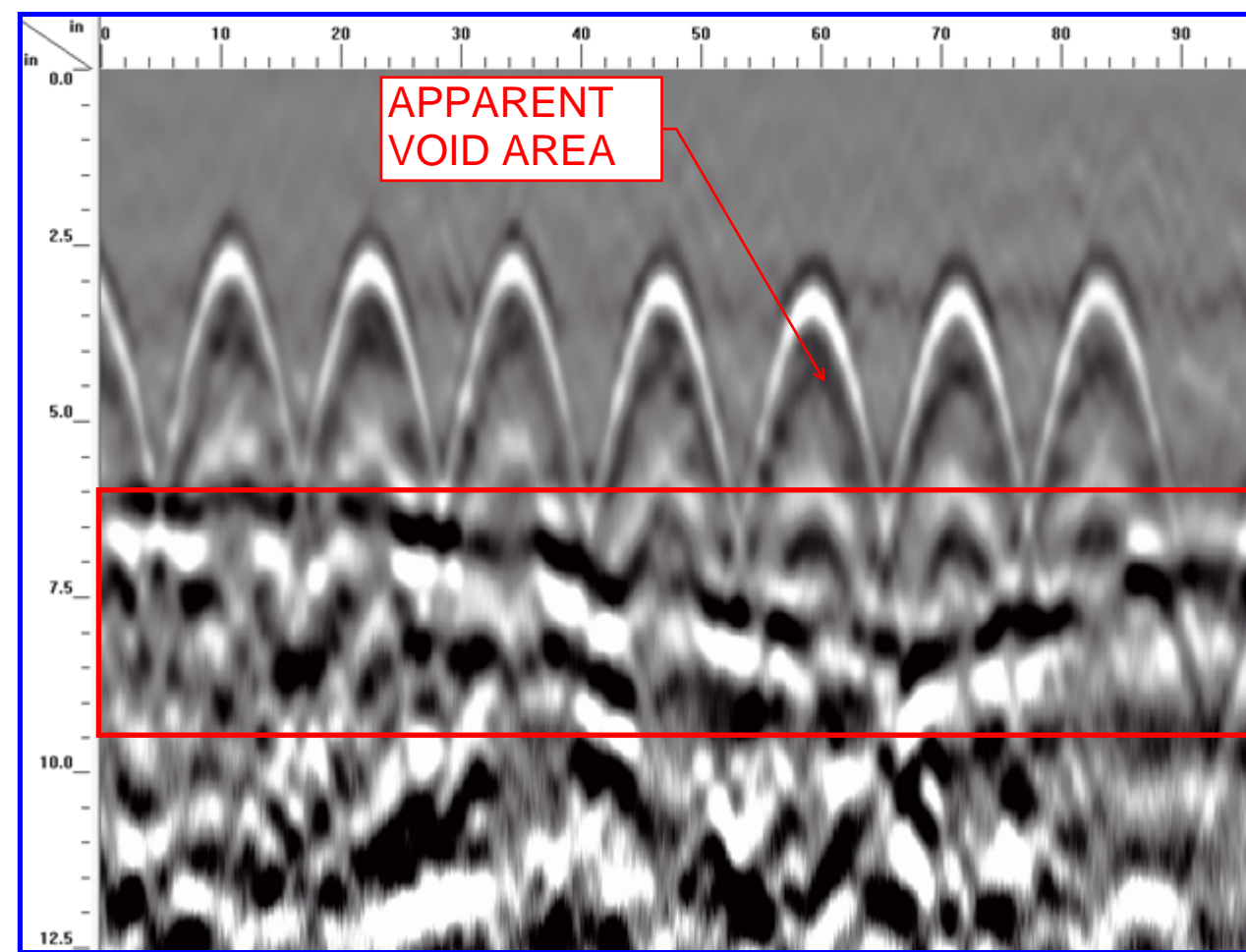
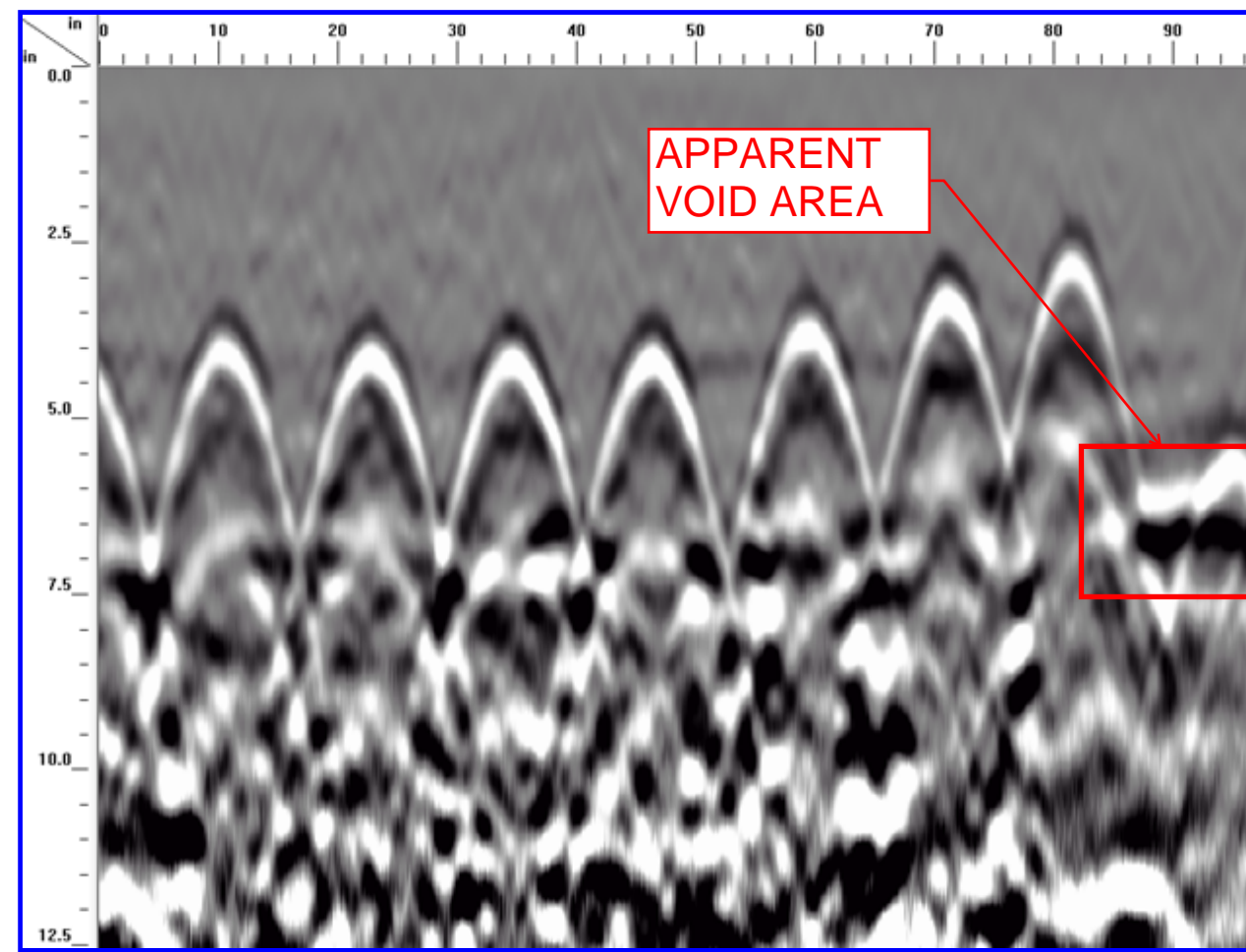
3202 W. MAIN, SUITE C
RAPID CITY, SOUTH DAKOTA 57702
605.343.9606
Albertson Engineering Inc.



AREA 3 APPROXIMATE VOID AREA = 90 SF

GLENWOOD AQUATIC CENTER
 ALBERTSON ENGINEERING
 PROJECT NO: 2024-340
 AREA 3 ENLARGED PLAN
 SCALE: 1/4" = 1'-0"
 SHEET B.4

3202 W. MAIN, SUITE C
 RAPID CITY, SOUTH DAKOTA 57702
 605.343.9606
 Albertson Engineering Inc.



AREA 4 APPROXIMATE VOID AREA = 130 SF

**GLENWOOD AQUATIC CENTER
ALBERTSON ENGINEERING
PROJECT NO: 2024-340
AREA 4 ENLARGED PLAN
SCALE: 1/4" = 1'-0"**

SHEET B.5

3202 W. MAIN, SUITE C
RAPID CITY, SOUTH DAKOTA 57702
605.343.9606

Albertson Engineering Inc.



A Bright Look Ahead™

Southwest Iowa Planning Council
1501 SW 7th Street
Atlantic IA 50022
712-243-4196

Invoice

Customer

Name City of Glenwood
Address 5 North Vine St
City Glenwood State IA ZIP 51534

Invoice No. 1446-14

Date 6/15/2023

Description	TOTAL
City of Glenwood 19-DRH-001 712 Lofts	
April + May 2023 Project Deliverables:	\$ 6,904.00
Financial Management, Project Reporting, File Maintenance, LMI Compliance Monitoring, Housing Inspection, & Environmental Review = 26 units x \$5,000 each = \$130,000 Housing PD	\$6,904.00
Housing Construction = 5% complete to date	
Housing Inspection = 0% complete to date	
LMI Compliance Monitoring = 0% completed to date	
Financial Management, Project Reporting, File Maintenance = Ongoing = \$6,904	
Environmental Review = 100% Complete 12/1/2021	
SubTotal	\$ 6,904.00
Other	
Due upon receipt	
TOTAL	\$ 6,904.00

Thank you for your business!
If you have questions call Ashley Hayes, 712-243-4196.

SWIPCO is an equal opportunity provider, employer, and lender.



A Bright Look Ahead™

Southwest Iowa Planning Council
1501 SW 7th Street
Atlantic IA 50022
712-243-4196

Invoice

Customer			
Name	City of Glenwood		
Address	5 North Vine St		
City	Glenwood	State	IA
		ZIP	51534

Invoice No.	1446-15
Date	7/25/2023

Description	TOTAL					
City of Glenwood 19-DRH-001 712 Lofts June 2023 Project Deliverables: Financial Management, Project Reporting, File Maintenance, LMI Compliance Monitoring, Housing Inspection, & Environmental Review = 26 units x \$5,000 each = \$130,000 Housing PD	\$ 3,452.00					
Housing Construction = 10% complete to date Housing Inspection = 0% complete to date LMI Compliance Monitoring = 0% completed to date Financial Management, Project Reporting, File Maintenance = Ongoing = \$3,452 Environmental Review = 100% Complete 12/1/2021	\$3,452.00					
SubTotal	\$ 3,452.00					
<table border="1"> <tr><td>Other</td></tr> <tr><td>Due upon receipt</td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>	Other	Due upon receipt				TOTAL \$ 3,452.00
Other						
Due upon receipt						

Thank you for your business!
If you have questions call Ashley Hayes, 712-243-4196.

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A Bright Look Ahead™

Southwest Iowa Planning Council
1501 SW 7th Street
Atlantic IA 50022
712-243-4196

Invoice

Customer

Name City of Glenwood

Address 5 North Vine St

City Glenwood State IA ZIP 51534

Invoice No. **1446-16**

Date **8/21/2023**

Description	TOTAL
City of Glenwood 19-DRH-001 712 Lofts July 2023 Project Deliverables: Financial Management, Project Reporting, File Maintenance, LMI Compliance Monitoring, Housing Inspection, & Environmental Review = 26 units x \$5,000 each = \$130,000 Housing PD	\$ 3,452.00
Housing Construction = 15% complete to date Housing Inspection = 0% complete to date LMI Compliance Monitoring = 0% completed to date Financial Management, Project Reporting, File Maintenance = Ongoing = \$3,452 Environmental Review = 100% Complete 12/1/2021	\$3,452.00
SubTotal	\$ 3,452.00
Other	
Due upon receipt	
TOTAL	\$ 3,452.00

Thank you for your business!
If you have questions call Ashley Hayes, 712-243-4196.

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Southwest Iowa Planning Council
1501 SW 7th Street
Atlantic IA 50022
712-243-4196

Invoice

Invoice No. **1446-17**

Customer

Name City of Glenwood
Address 5 North Vine St
City Glenwood State IA ZIP 51534

Date **2/19/2024**

Description	TOTAL
City of Glenwood 19-DRH-001 712 Lofts August 2023 - January 2024 Project Deliverables: Financial Management, Project Reporting, File Maintenance, LMI Compliance Monitoring, Housing Inspection, & Environmental Review = 26 units x \$5,000 each = \$130,000 Housing PD	\$ 9,740.80
Housing Construction = 35% complete to date Housing Inspection = 25% complete for invoice period = \$3,250 LMI Compliance Monitoring = 0% completed to date Financial Management, Project Reporting, File Maintenance = Ongoing = \$6,490.80 Environmental Review = 100% Complete 12/1/2021	\$9,740.80
SubTotal	\$ 9,740.80
Other	
Due upon receipt	
TOTAL	\$ 9,740.80

Thank you for your business!
If you have questions call Ashley Hayes, 712-243-4196.

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A Bright Look Ahead™

Southwest Iowa Planning Council
1501 SW 7th Street
Atlantic IA 50022
712-243-4196

Invoice

Customer

Name City of Glenwood
 Address 5 North Vine St
 City Glenwood State IA ZIP 51534

Invoice No. **1446-18**

Date **6/28/2024**

Description	TOTAL
City of Glenwood 19-DRH-001 712 Lofts February - June 2024 Project Deliverables: Financial Management, Project Reporting, File Maintenance, LMI Compliance Monitoring, Housing Inspection, & Environmental Review = 26 units x \$5,000 each = \$130,000 Housing PD	\$ 14,775.08
Housing Construction = 75% complete to date Housing Inspection = 50% complete for invoice period = \$6,500 LMI Compliance Monitoring = 0% completed to date Financial Management, Project Reporting, File Maintenance = Ongoing = \$8,275.08 Environmental Review = 100% Complete 12/1/2021	\$14,775.08
SubTotal	\$ 14,775.08
Other Due upon receipt	TOTAL \$ 14,775.08

Thank you for your business!
If you have questions call Ashley Hayes, 712-243-4196.

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A Bright Look Ahead™

Southwest Iowa Planning Council
1501 SW 7th Street
Atlantic IA 50022
712-243-4196

Invoice

Customer

Name City of Glenwood

Address 5 North Vine St

City Glenwood State IA ZIP 51534

Invoice No. **1446-19**

Date **10/3/2024**

Description	TOTAL
City of Glenwood 19-DRH-001 712 Lofts July-September 2024 Project Deliverables: Financial Management, Project Reporting, File Maintenance, LMI Compliance Monitoring, Housing Inspection, & Environmental Review = 26 units x \$5,000 each = \$130,000 Housing PD	\$ 10,329.62
Housing Construction = 80% complete to date Housing Inspection = 10% complete for invoice period = \$1,300 LMI Compliance Monitoring = 0% completed to date Financial Management, Project Reporting, File Maintenance = Ongoing = \$9,029.62 Environmental Review = 100% Complete 12/1/2021	\$10,329.62
SubTotal	\$ 10,329.62
Other Due upon receipt	TOTAL \$ 10,329.62

Thank you for your business!
If you have questions call Ashley Hayes, 712-243-4196.

SWIPCO is an equal opportunity provider, employer, and lender.



A Bright Look Ahead™

Southwest Iowa Planning Council
1501 SW 7th Street
Atlantic IA 50022
712-243-4196

Invoice

Customer

Name City of Glenwood
 Address 5 North Vine St
 City Glenwood State IA ZIP 51534

Invoice No. **1446-20**
 Date **12/31/2024**

Description	TOTAL
City of Glenwood 19-DRH-001 712 Lofts October - December 2024 Project Deliverables: Financial Management, Project Reporting, File Maintenance, LMI Compliance Monitoring, Housing Inspection, & Environmental Review = 26 units x \$5,000 each = \$130,000 Housing PD	\$ 12,025.00
Housing Construction = 90% complete to date Housing Inspection = 10% complete for invoice period = \$1,300 LMI Compliance Monitoring = 5% completed to date = \$536.25 Financial Management, Project Reporting, File Maintenance = Ongoing = \$10,188.75 Environmental Review = 100% Complete 12/1/2021	\$12,025.00
SubTotal	\$ 12,025.00
Other	
Due upon receipt	
TOTAL	\$ 12,025.00

Thank you for your business!
If you have questions call Ashley Hayes, 712-243-4196.

SWIPCO is an equal opportunity provider, employer, and lender.



A Bright Look Ahead™

Southwest Iowa Planning Council
1501 SW 7th Street
Atlantic IA 50022
712-243-4196

Invoice

Customer

Name City of Glenwood
 Address 5 North Vine St
 City Glenwood State IA ZIP 51534

Invoice No. **1448-21**

Date **1/7/2025**

Description		TOTAL
City of Glenwood 19-DRH-008 300 Block N Elm		
September - December 2024		\$ 33,870.98
Project Deliverables:		
Financial Management, Project Reporting, File Maintenance, LMI Compliance Monitoring, Housing Inspection, and Environmental Review = 40 units x \$5,000 = \$200,000 Housing PD	\$33,870.98	
Housing Construction = 100% Complete 3/22/2024		
Housing Inspection = 100% Complete 3/26/2024		
LMI Compliance Monitoring = \$20,322.59 in invoice period	\$20,322.59	
Financial Management, Project Reporting, and File Maintenance = Ongoing = Current Invoice Period \$13,548.39	\$13,548.39	
Environmental Review = 100% Complete 12/1/2021		
Current Invoice Period: 9 units rented & verified To Date: 21 of 21 (required) units rented to LMI households		
	SubTotal	\$ 33,870.98
Other		
Due upon receipt		
	TOTAL	\$ 33,870.98

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